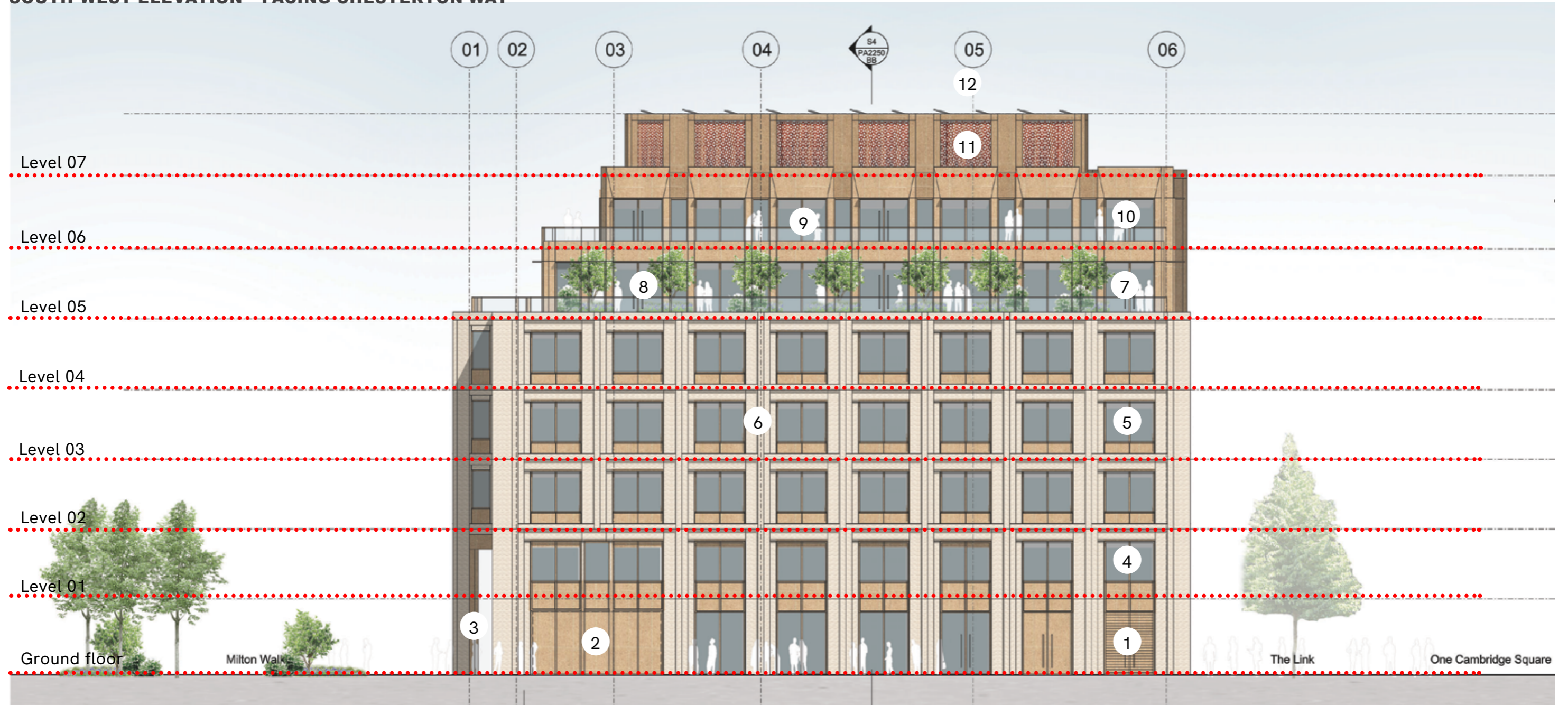


# ONE MILTON AVENUE (S4) ELEVATIONS

## SOUTH-WEST ELEVATION – FACING CHESTERTON WAY



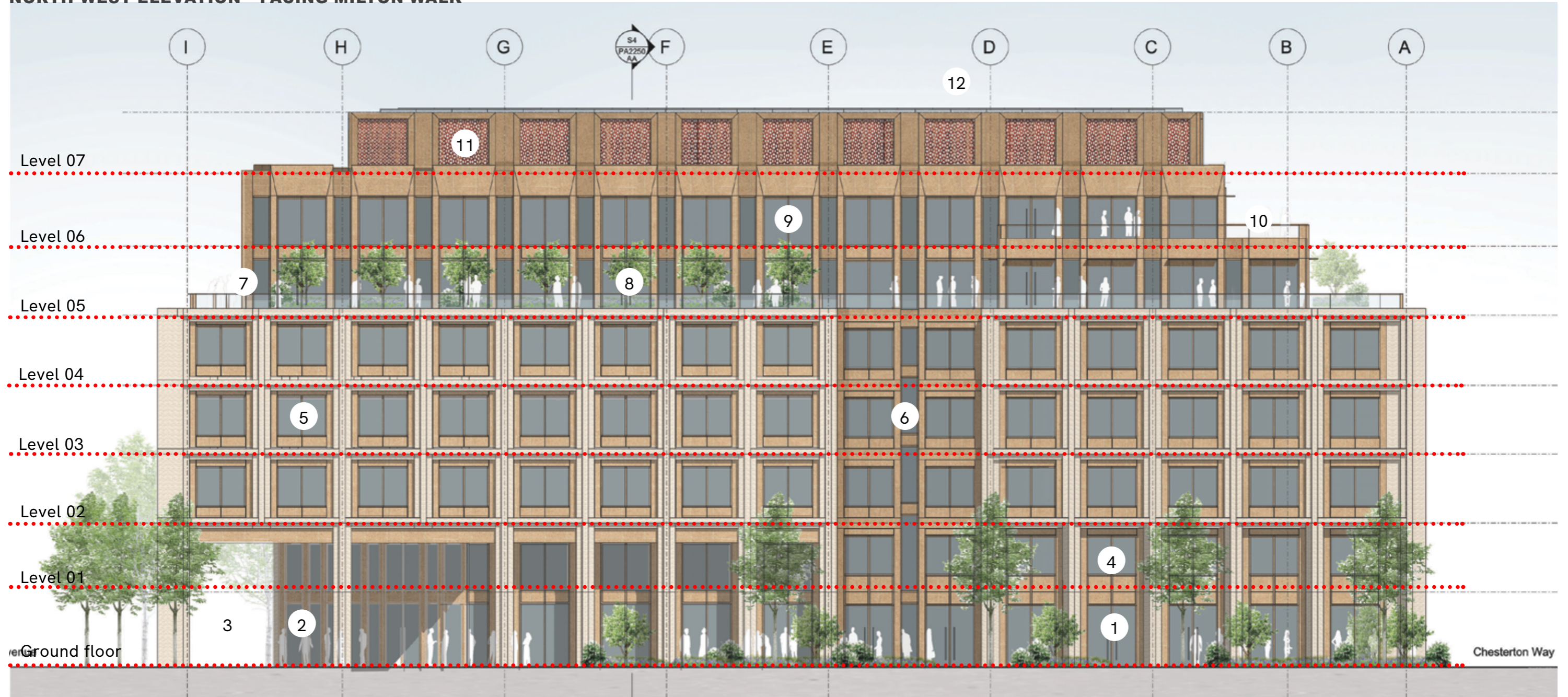
- 1. Full height louvres, service doors and deep brick reveals to lower floors.
- 2. Vehicle entrance to basement ramp with folding/sliding metal doors, metal soffit and reveals.
- 3. Double-height pedestrian colonnade facing residential district.
- 4. Level 01 window with low-level spandrels.

- 5. Typical bay window with low-level spandrels and metal sill, set in between articulated brick piers providing shade.
- 6. Deep, articulated and asymmetrical brick piers to south-western elevation to maximise shading and minimise solar gain.
- 7. Level 05 terrace with metal and glass balustrade and external metal brise soleil to south-east and south-west

- 9. Full-height windows to top floor level 06.
- 10. Level 06 terrace with metal and glass balustrade and external metal brise soleil to south east and south west.
- 11. Metal plant screen incorporating perforated panels framed by metal arch detail.
- 12. Top of plant roof with PV panels providing renewable energy resource.

# ONE MILTON AVENUE (S4) ELEVATIONS

## NORTH-WEST ELEVATION - FACING MILTON WALK



- 1. Full height windows, entrance doors and deep brick reveals to lower floors.
- 2. Inset entrance vestibule with full-height opening/sliding drum doors.
- 3. Double-height pedestrian colonnade leading to residential district with metal soffit.
- 4. Level 01 window with low-level spandrels.

- 5. Typical bay window with low-level spandrels and metal sill, set in between articulated brick piers providing shade.
- 6. Metal and glass reveal providing natural break between two brick heights.
- 7. Level 05 terrace with metal and glass balustrade and external metal brise soleil to south-east and south-west facades.

- 9. Full-height windows to top floor level 06.
- 10. Level 06 terrace with metal and glass balustrade and external metal brise soleil to south-east and south-west.
- 11. Metal plant screen incorporating perforated panels framed by metal arch detail.
- 12. Top of plant roof with PV panels providing renewable energy resource.

# ONE MILTON AVENUE (S4) ELEVATIONS

## EAST ELEVATION – FACING MILTON AVENUE



- 1. Full height windows, incorporating entrance doors and deep brick reveals to lower floors.
- 2. Inset entrance vestibule with full-height opening/sliding drum doors.
- 3. Double-height pedestrian colonnade facing residential district.
- 4. Level 01 window with low-level spandrels.

- 5. Typical bay window with low-level spandrels and metal sill, set in between articulated brick piers providing shade.
- 6. Metal and glass reveal providing natural break between two brick heights.
- 7. Level 05 terrace with metal and glass balustrade and external metal brise soleil to south-east and south-west facades.

- 9. Full height windows to top floor level 06.
- 10. Level 06 terrace with metal and glass balustrade and external metal brise soleil to south-east and south-west.
- 11. Metal plant screen incorporating perforated panels framed by metal arch detail.
- 12. Top of plant roof with PV panels providing renewable energy resource.



# ONE MILTON AVENUE (S4) WORKING STRATEGIES



## ACCESS AND SERVICING – GROUND FLOOR

Accessible cycle parking and facilities are located on the ground floor adjacent the main cycle entrance, accessed via Milton Walk.

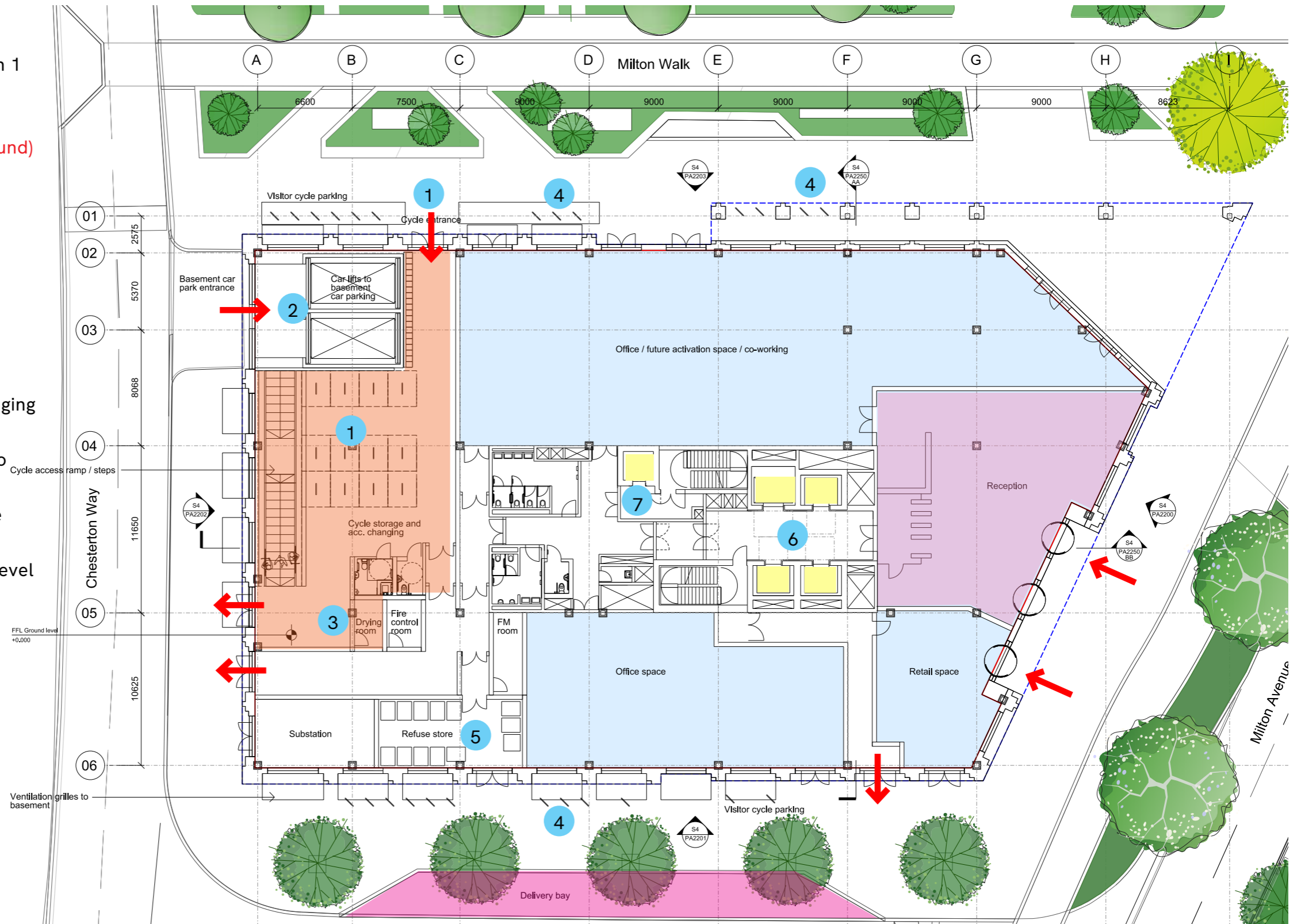
1. Cycle provision for 1 Station Row based on 1 per 30 sqm (GIA).

Ground floor 24 large cycle stands  
**Total: 412 spaces (including ground)**

Please note that visitor cycle parking is appropriately located around the building perimeter adjacent key entrances.  
 Please note that visitor cycle parking is appropriately located around the building perimeter adjacent key entrances.

- 2. Car lifts
- 3. Accessible drying rooms and shower/changing facilities
- 4. External visitor cycle parking in addition to provision
- 5. Refuse stores, sized according to site-wide strategy
- 6. Four passenger lifts serving basement to level 06
- 7. Dedicated firefighting lift

- LOADING BAY
- CYCLING FACILITIES
- LIFTS
- MAIN ENTRANCE



# ONE MILTON AVENUE (S4) WORKING STRATEGIES



## MAINTENANCE

The maintenance strategy has been developed alongside Hilson Moran.

The accessible urban landscaping around the building perimeter has been designed to accommodate a suitable mobile elevated work platform (MEWP).

Alternate strategies have also been progressed, should areas identified not be accessible due to the detailed design of adjacent landscaping. These include a davit system to be discreetly incorporated in the building's setbacks and terraces, to provide an alternate safe working platform for regular access and maintenance.

Davit system, roof rigged or ground rigged (under 30m) with a powered cable.



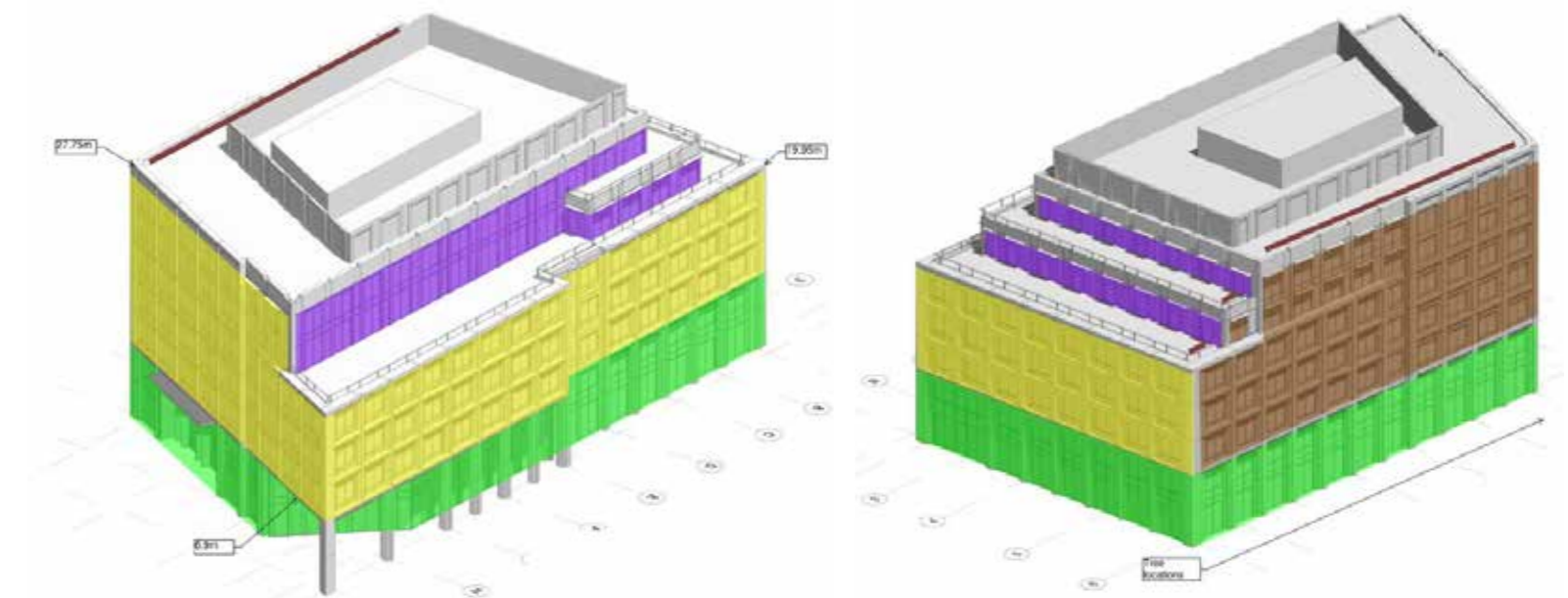
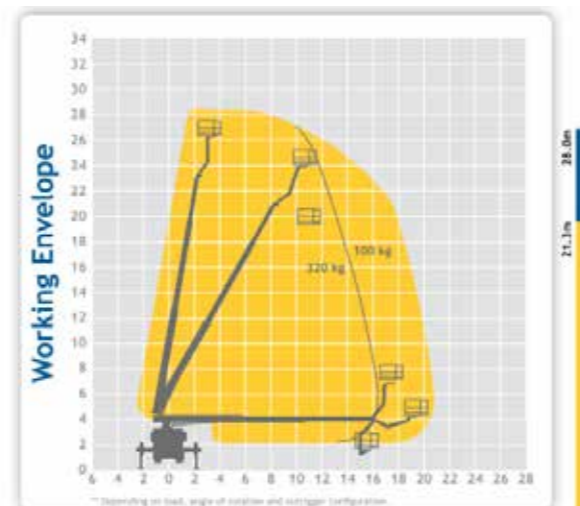
A 28m truck MEWP is required for S4 Office (27.75m tall).

### T28RX truck mounts

**Working Height** 28.0m  
**Outreach\*\*** 21.3m (100kg)

Max Horiz. Outreach (full SWL) 16.0m  
Max Reach Below 0m n/a  
Overall Travel Length 8.12m  
Overall Travel Height 3.8m  
Overall Travel Width 2.5m  
Platform Cage Size 1.7m x 0.86m  
Max SWL 320kg  
Gross Vehicle Weight 11000kg  
Operational Full Width 3.8m  
Minimum Operational Width 2.5m  
Point Load Front / Rear 110kN/50kN

Alternative machines  
T26CX  
T26KX  
Manufacturer  
Ruthman



- LOW LEVEL ACCESS
- MEWP ACCESS
- DIRECT BALCONY ACCESS
- MEWP ACCESS WITH POTENTIAL ALTERNATE DAVIT ARRANGEMENT

Access strategies for maintenance of facades to One Milton Avenue (S4).