

08

Neighbouring Consented Schemes

Former Railway Tavern Site
Neighbouring Care Home

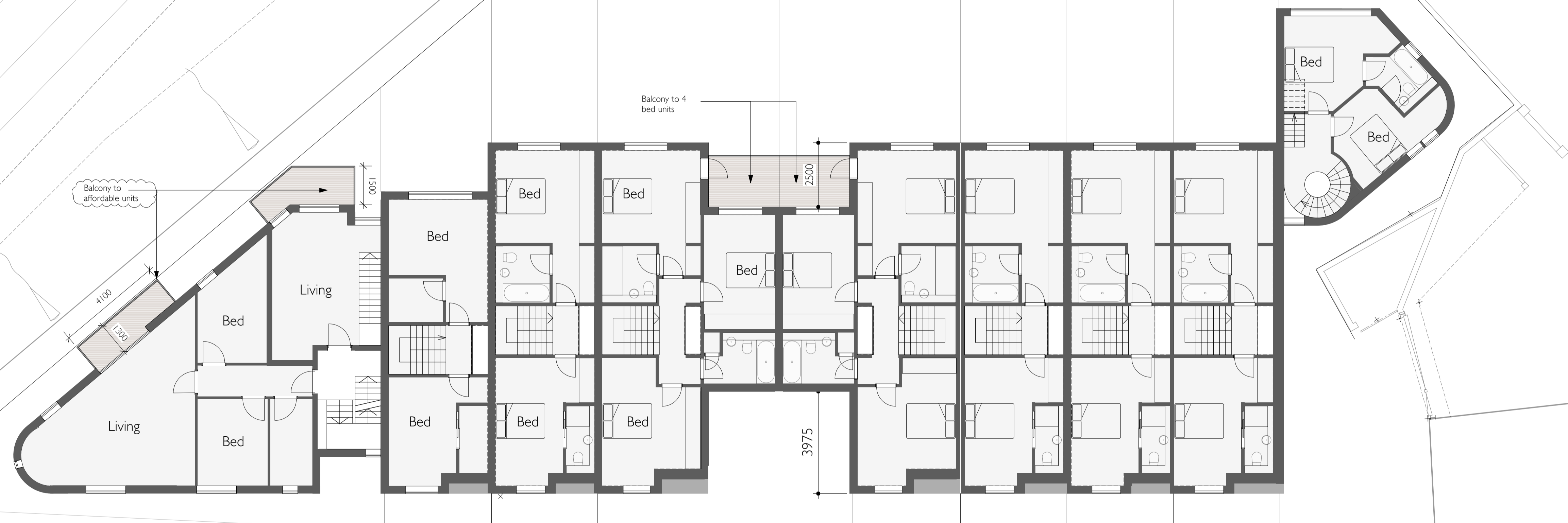


Notes	Date	Rev.
1. This drawing must not be scaled - work only to figured dimensions	02.02.2015	J - Planning Application
2. Dimensions must be verified on site by the contractor before preparation of shop drawings	24.04.2015	K - Client Issue
3. The architect must be notified of any discrepancies immediately	30.04.2015	L - Planning Amendment
4. This drawing applies only to this job and site		
5. This information on this drawing is copyright protected		

Date	Rev.
02.02.2015	J - Planning Application
24.04.2015	K - Client Issue
30.04.2015	L - Planning Amendment



HaysonWardMiller Architects	Ground Floor Plan	P03 L
7 Downing Place Cambridge CB2 3EL	Project	Housing Development, Gt Shelford
T : 01223 578545 F : 01223 351955	For	Great Shelford (Cambridge) LLP
email : info@haysonwardmiller.co.uk	Scale	1:100 at A1 and 1:200 at A3



Affordable Units

House 1
2 Bed

House 2
3 Bed

House 3
4 Bed

House 4
4 Bed

House 5
3 Bed

House 6
3 Bed

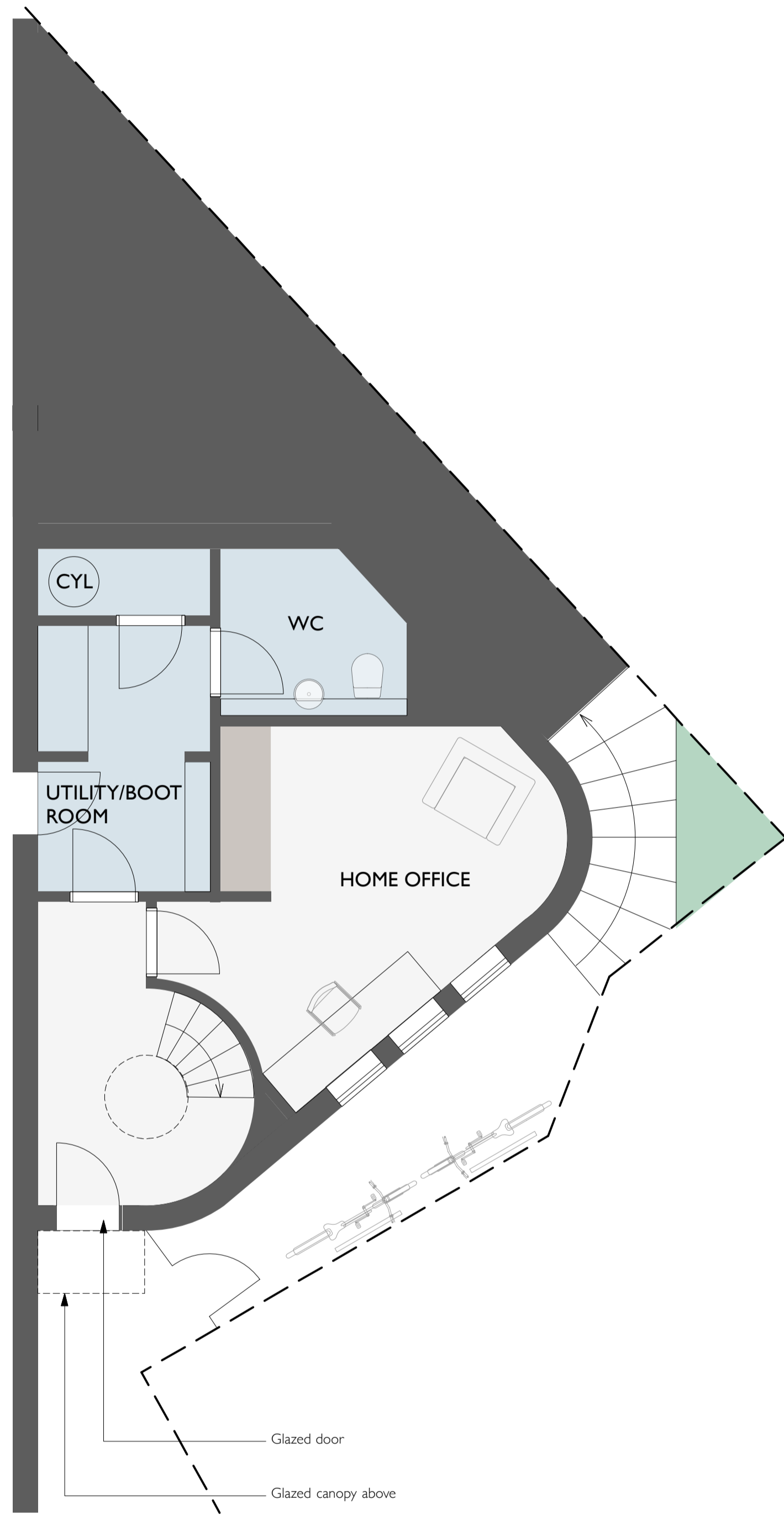
House 7
3 Bed

House 8
2 Bed

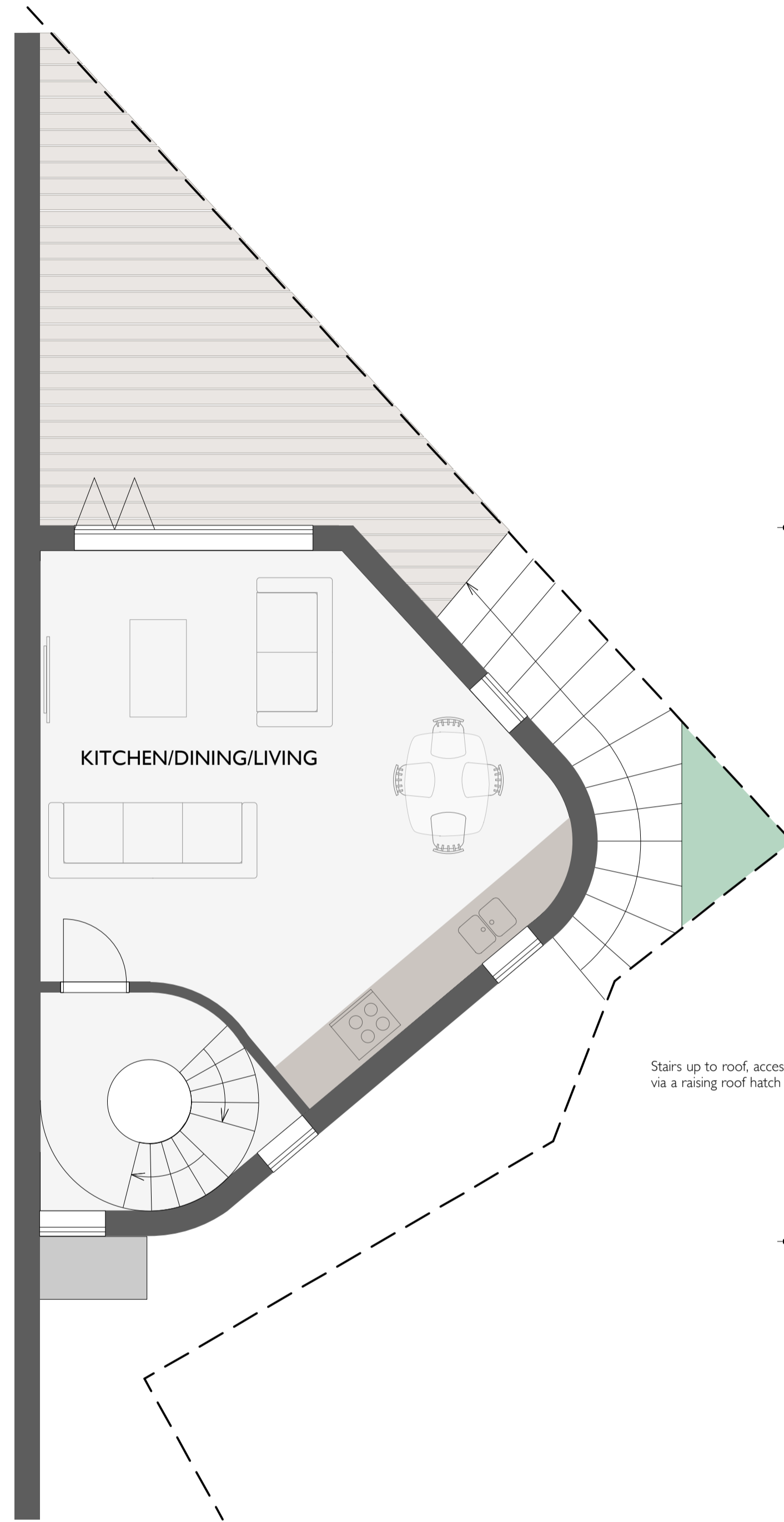
Notes	Date	Rev.
1. This drawing must not be scaled - work only to figured dimensions	02.02.2015	I - Planning Application
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Date	Rev.
02.02.2015	I - Planning Application
24.04.2015	J - Client Issue
30.04.2015	K - Planning Amendment

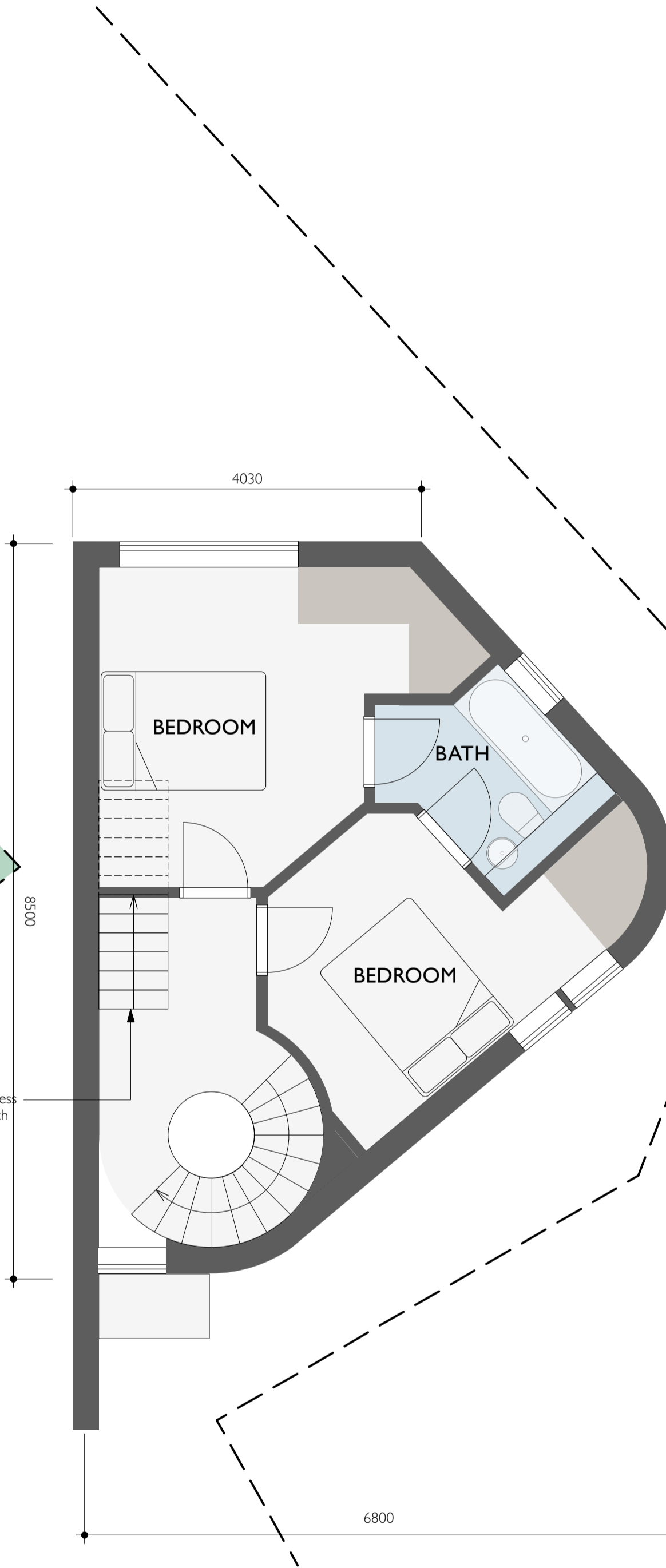




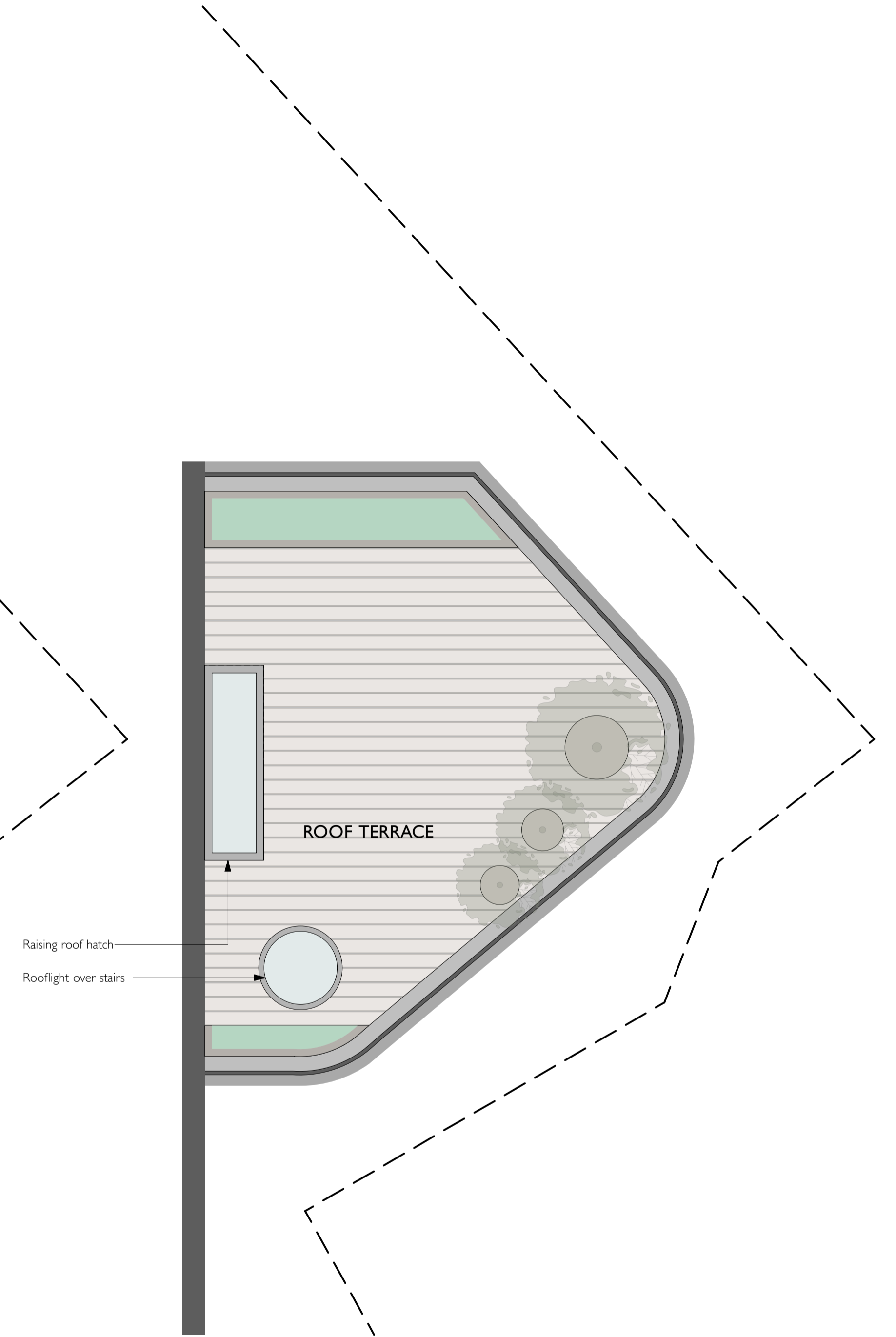
GROUND FLOOR



FIRST FLOOR



SECOND FLOOR

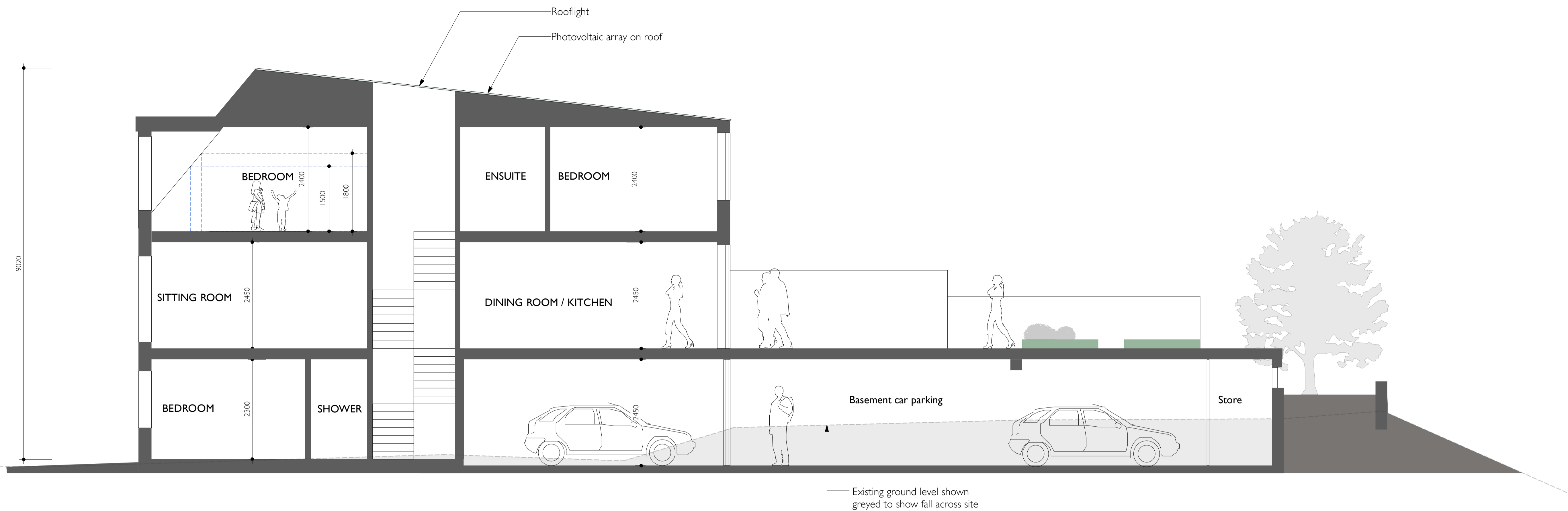


ROOF

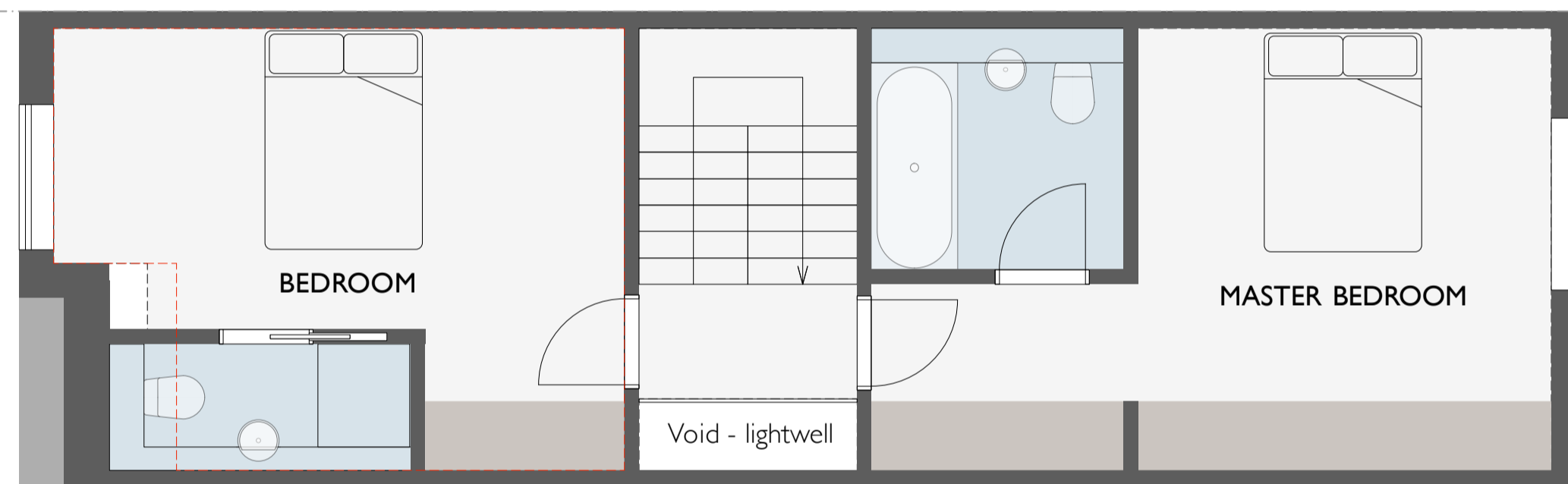
TOTAL GIA = 109m2

Notes	Date	Rev.
1: This drawing must not be scaled - work only to figured dimensions		
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3: The architect must be notified of any discrepancies immediately		
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5: This information on this drawing is copyright protected		

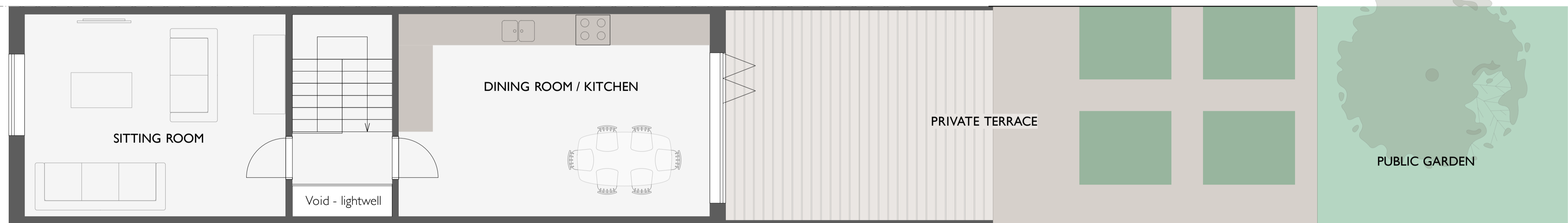
HaysonWardMiller Architects	Project	House 8	P12 D
7 Downing Place Cambridge CB2 3EL	For	Housing Development, Gt Shelford	
T : 01223 578545 F : 01223 351955	Scale	Great Shelford (Cambridge) LLP	
email : info@haysonwardmiller.co.uk			1:50 at A1 and 1:100 at A3



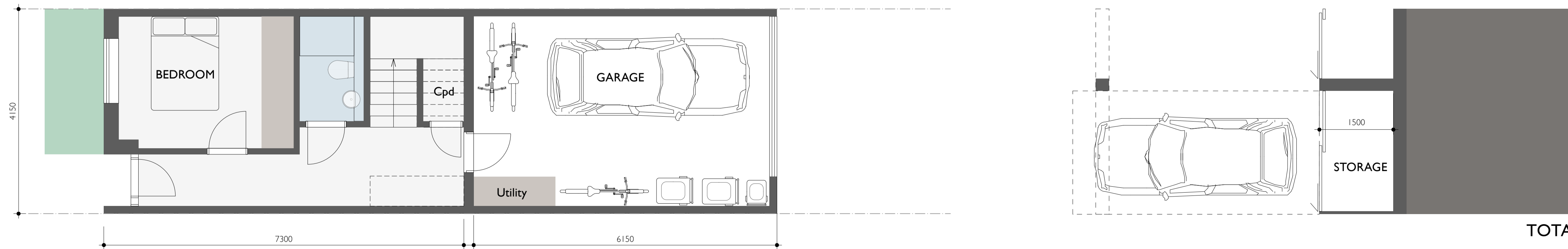
SECOND FLOOR



FIRST FLOOR



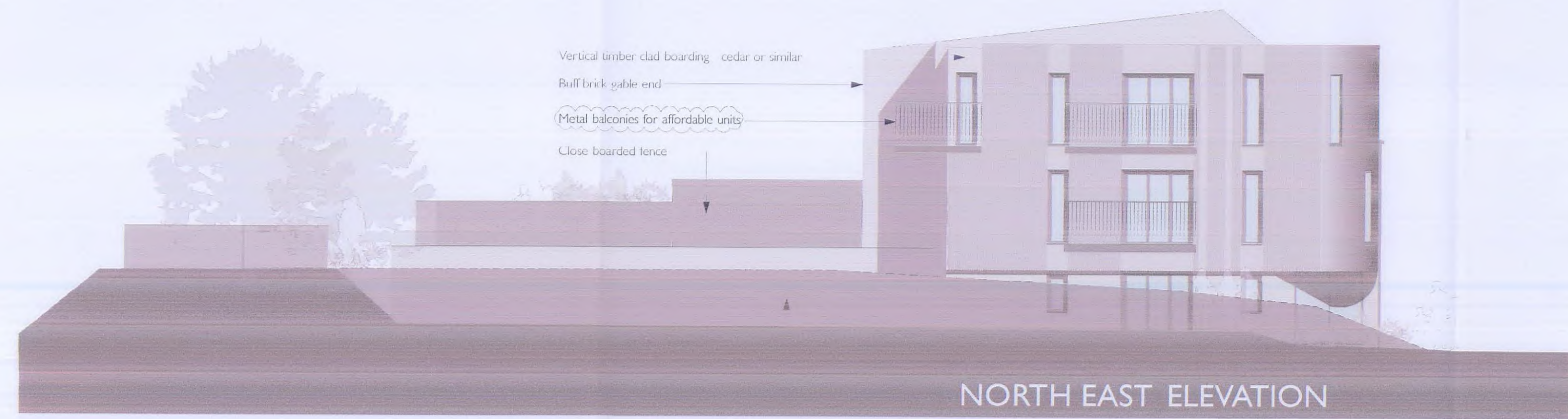
GROUND FLOOR



TOTAL GIA = 123m2

Notes	Date	Rev.
1: This drawing must not be scaled - work only to figured dimensions		
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HaysonWardMiller Architects		Typical 3 Bed House		P10 H
7 Downing Place Cambridge CB2 3EL		Project	Housing Development, Gt Shelford	
T : 01223 578545 F : 01223 351955		For	Great Shelford (Cambridge) LLP	
email : info@haysonwardmiller.co.uk		Scale	1:50 at A1 and 1:100 at A3	



NORTH EAST ELEVATION

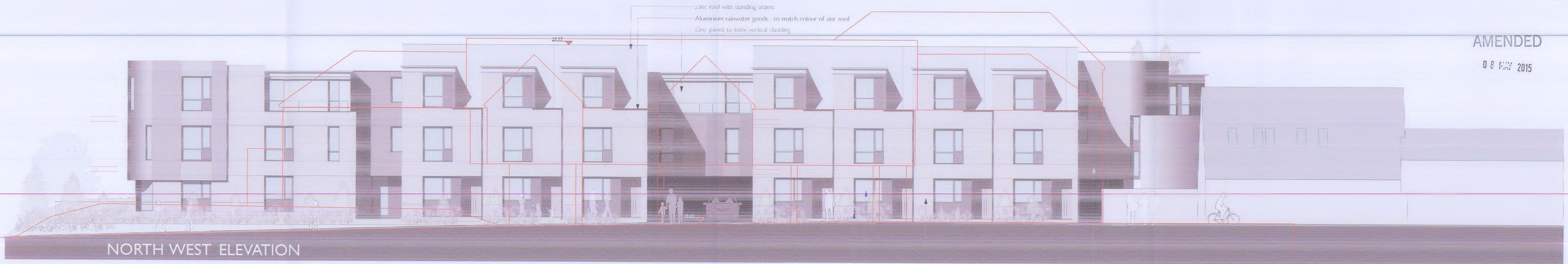
Line of embankment shown shaded



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



NORTH WEST ELEVATION

AMENDED
08 MAY 2015

Notes	Date	Rev.
1. This drawing must not be scaled - work only to figure dimensions		
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3. The architect must be notified of any discrepancies immediately		

Date	Rev.

PROPOSED BOUNDARY PLAN



NOTES

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KEY

- - - 1.8m close boarded timber fence
height varies to suit location
- 1.2m high hoop topped railings
- 1.8m high hoop topped railings
- Masonry boundary wall, 1.8m min - Existing to be retained where possible

PLANNING SUBMISSION

C	Site plan updated, railings updated	11.10.2021	SC
B	Northern boundary line updated to match site plan drawing	18.05.2020	SC
A	Building footprint and landscaping revised	07.05.2020	SC
*	Planning Issue	16.08.19	MP

REVISION DETAILS

- Preliminary
- For Approval
- Tender
- Construction

CLIENT

Porthaven

PROJECT

2 Station Road
Great Shelford

DRAWING TITLE

Boundary Plan

SCALE

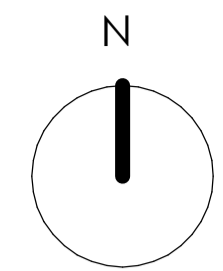
1:500 @A3 SC 25.06.19

DRAWING NO.

18-182-115 ©



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NOTES

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- NOTES**
1. Scheme subject to further detailed design and Statutory Approvals
 2. All levels taken from topographical survey information as provided by Survey Solutions dwg No 24/05/2019.
 3. Ground floor FFL +18,700 as proposed.
 4. Tree locations taken from topographical survey information as provided by Survey Solutions dwg No 24/05/2019
 5. Root protection areas as taken from Arboricultural proposed site plan drawing number P1205-ASP02 by Ligna Consultancy

- KEY**
- Site Boundary
 - Existing Buildings
 - Proposed Care Home
 - Paths and Hard Landscaping
 - Amenity Terrace
 - Pedestrian Paving
 - Vehicular Access Area
 - Parking Bays
 - Grass and Soft Landscaping
 - Hedge
 - 1.8m close boarded timber fence
 - 1.2m railing
 - CH Cycle Hoops
 - Site Entrance
 - Building Entrances
 - Pleached Trees
 - Vehicle Barrier
 - Retaining Wall

- SCHEDULE OF ACCOMMODATION**
- 63 Bed Care Home (21 per floor)
 - 26 No Car Parking Spaces

PLANNING SUBMISSION

* First Issue 07.10.2021

- REVISIONS**
- | NO | DATE | NAME |
|----|------|------|
| 1 | | |
- Preliminary
 - For Approval
 - Tender
 - Construction

CLIENT
Porthaven

PROJECT
2 Station Road
Great Shelford

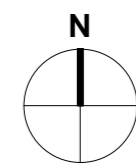
DRAWING TITLE
Proposed Site Plan

SCALE 1:200 @A1
drawn by SC
date 10/07/21

DRAWING NO 18-182-310
revision *



T: 0151 207 4371 • F: 0151 207 7087

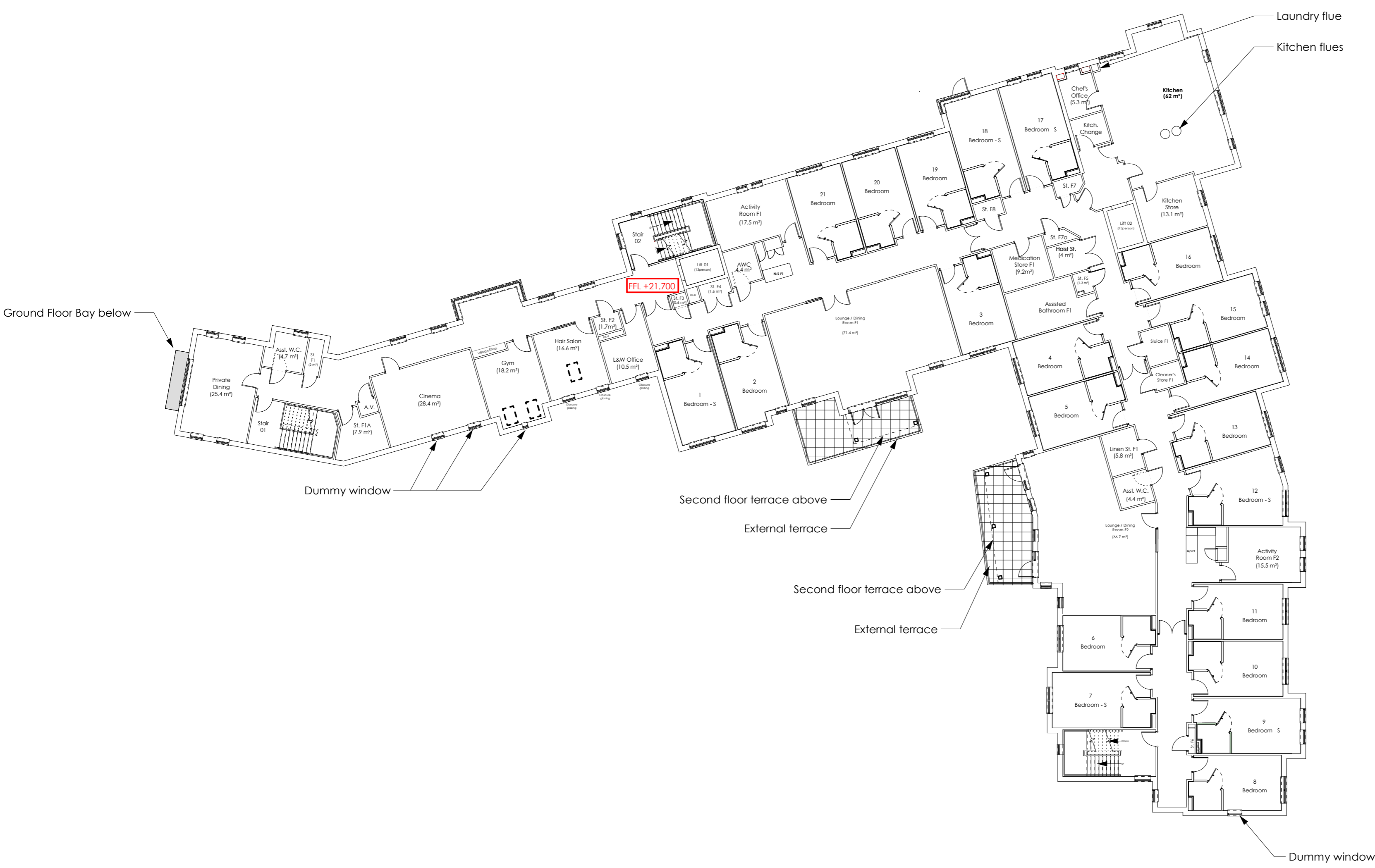


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- MATERIALS PROHIBITED**
- a) high alumina cement in the structural elements;
 - b) wood wool slabs in permanent formwork to concrete;
 - c) calcium chloride admixtures for use in reinforced concrete;
 - d) asbestos or asbestos-containing products, as defined in the Control of Asbestos at Work Regulations, as amended 2002 or any other statutory modification or re-enactment thereof;
 - e) any material occurring or made from mineral fibres, for example rock-wool or slag wool with a thickness of 3 metres or less and a length of 200 metres or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) aggregates to be used in ready-mixed concrete which do not comply with:
 - BS 58:1992 (2002) Impurities of aggregates used in concrete;
 - BS 58:13:2002 (2002) Impurities of aggregates used in mortar;
 - BS 58:13:2003 (2003) & BS 58:13:2004 (2004) Impurities of aggregates used in concrete;
 - Guidance on avoiding alkali-silica reaction and inhibitors on alkali content in BS 5898:2004 (2004) & Concrete Society Technical Report 53 (1999);
 - g) lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework for any relevant statutory requirement or where lead fittings or other lead roof coverings are specifically provided for in the Contract;
 - h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) calcium silicate bricks or tiles;
 - j) vermiculite unless it is established as being fibre-free; calcium silicate bricks or tiles; any products containing cadmium referred to in Statutory Instrument 2006/3311
 - k) Control on dangerous substances and preparation Regulations 2002. Reference should also be made to HSE DCS01 (Cadmium and you);
 - l) any new fence treated with perchlorophenol;
 - m) non galvanneal mild steel structural fixings for building elements particularly susceptible to corrosion;
 - n) concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) mortars containing chromo-oxides (CFCs);
 - p) solvent based paints except where water based paints are unsuitable for unobtainable; and new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specification thereof.

- NOTES**
1. Scheme is subject to further detailed design and relevant Statutory Approvals.
 2. Scheme is based on topographical survey by Survey Solutions drawing no. 24396ea-01 24/05/2019.

ACCOMODATION

	BEDS	GIA (m ²)
Ground Floor	21	1237
First Floor	21	1245
Second Floor	21	1016
TOTAL	63	3498 (55.5m²/Bed)



FIRST FLOOR PLAN - PROPOSED

- D Drawing amended to suit Client update requirements, refer to Planning Consultant information. 04.10.2021 GWP

PLANNING SUBMISSION

- C Amendments to respond to Planning Officer's concerns: 12.05.2020 MP
1. Quiet Lounge omitted and replaced with Bedroom 21.
 2. Lounge/Dining 2 increased.
 3. Bedrooms 4 & 5 relocated from south end of building to increase interface distance to neighbouring property.
 4. Staff area reconfigured and building foot print amended to accommodate.
 5. GIA updated to suit.
- B GIA reduced and schedule updated. 19.03.2020 MP

Bedrooms 12 & 17 on each floor, reduced from superior bedrooms to standard bedroom to enable amendments to

Bay to the 2 storey western elevation gable amended to glazing/aluminium. Balcony access / balustrading omitted.

Bay above main entrance, at 1st floor, amended to curtain wall glazing.

Bay at ground floor adjacent to main entrance omitted and replaced with window.

- A Dummy windows indicated. 04.10.2019 MP
- * Planning Issue 15.08.2019 MP

REVISION DETAILS date / by

- For Approval
- Tender
- Construction

CLIENT
Porthaven

PROJECT
2 Station Road, Great Shelford

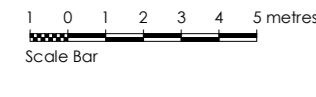
DRAWING TITLE
Floor Plans - Proposed

SCALE drawn by date
1:200@A1 GWP 19.06.2019

DRAWING NO. revision
18-182-120 D

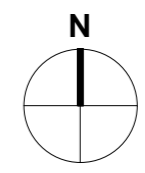


GROUND FLOOR PLAN - PROPOSED



CLA
Condy Loffhouse Architects

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MATERIALS PROHIBITED

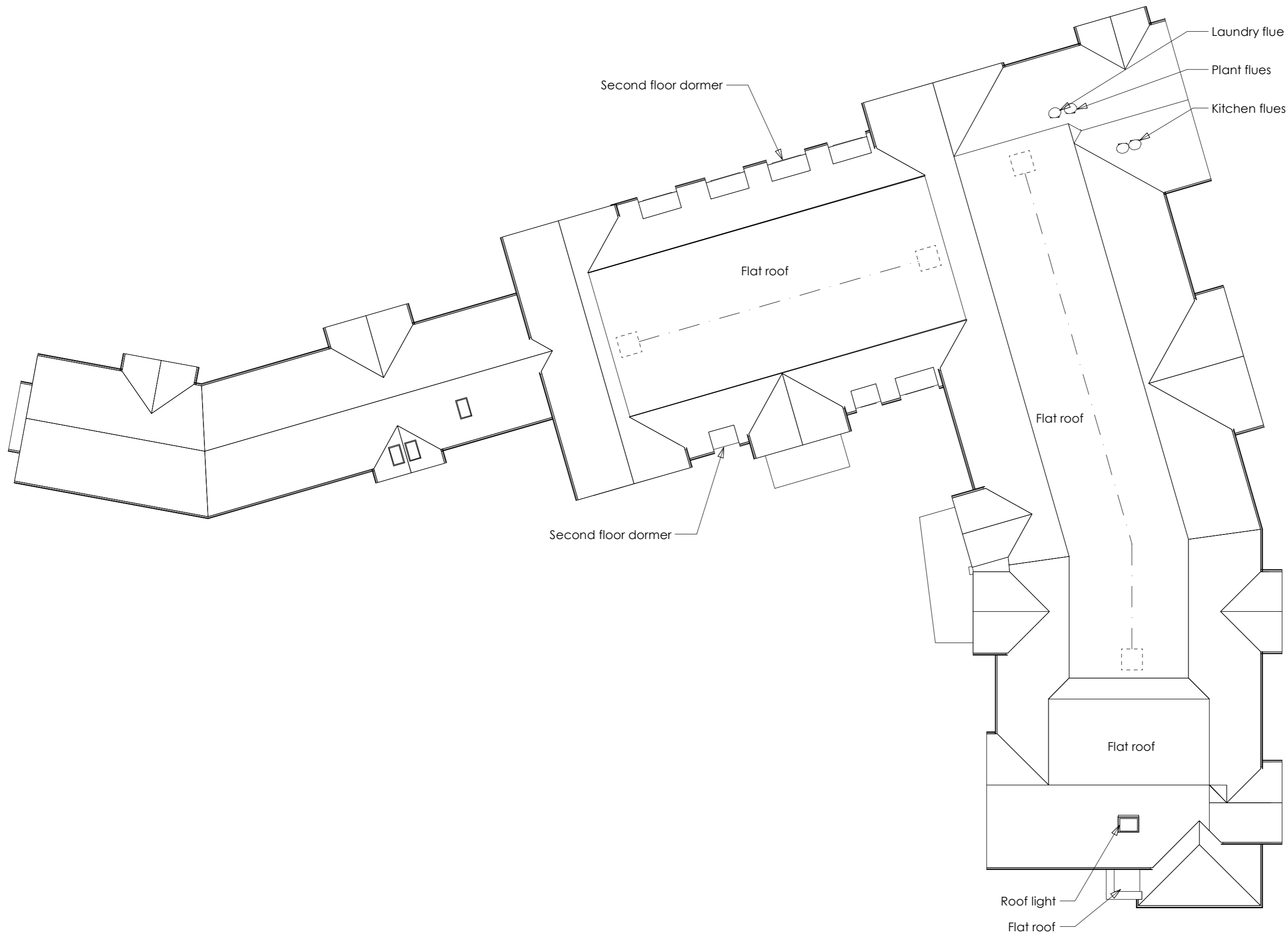
- a) Materials prohibited from use, except where used in accordance with Good Practice in the Selection of Construction Materials (March 2017) or unless required by the Contract
- b) High alumina cement in the structural elements
- c) Wood wool slabs in permanent formwork for concrete
- d) Calcium chloride admixtures for use in reinforced concrete
- e) Asphalt or asbestos-containing products, as defined in the Control of Asbestos at Work Regulations, as amended 2002 or any other statutory modification or re-enactment thereof
- f) Any material containing or made from mineral fibres, for example rock-wool or slag wool with a thickness of 3 metres or less and a length of 200 metres or less, unless they are appropriately sealed to prevent migration of fibres
- g) Aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002 Properties of aggregates used in concrete
 - BS EN 12620:2002 Properties of aggregates used in concrete
 - BS EN 12620:2002 Properties of aggregates used in concrete
- h) Substances containing calcium hydroxide and inhibitors on alkali content in BS EN 12620:2002 & Concrete Society Technical Report 51 (1999)
- i) Lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework for any relevant statutory requirement or where lead fittings or other lead roof coverings are specifically provided for in the Contract
- j) Free formwork or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive
- k) Calcium silicate bricks or tiles
- l) Vertical tiles unless it is established as being fire-free; calcium silicate bricks or tiles; any products containing cadmium referred to in Statutory Instrument 2006/3311
- m) Control on dangerous substances and preparation Regulations 2002. Reference should also be made to HSE ECH391 Cadmium and you
- n) Any new fence treated with pentachlorophenol
- o) non galvanneal mild steel structural fixings for building elements particularly susceptible to corrosion
- p) concrete used in circumstances where it is susceptible to alkali/silica reaction
- q) mortars containing chromo-chlorides (CCCs)
- r) solvent based paints except where water based paints are unsuitable for unobtainable
- s) any new materials not in accordance with statutory requirements, BS80 Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

NOTES

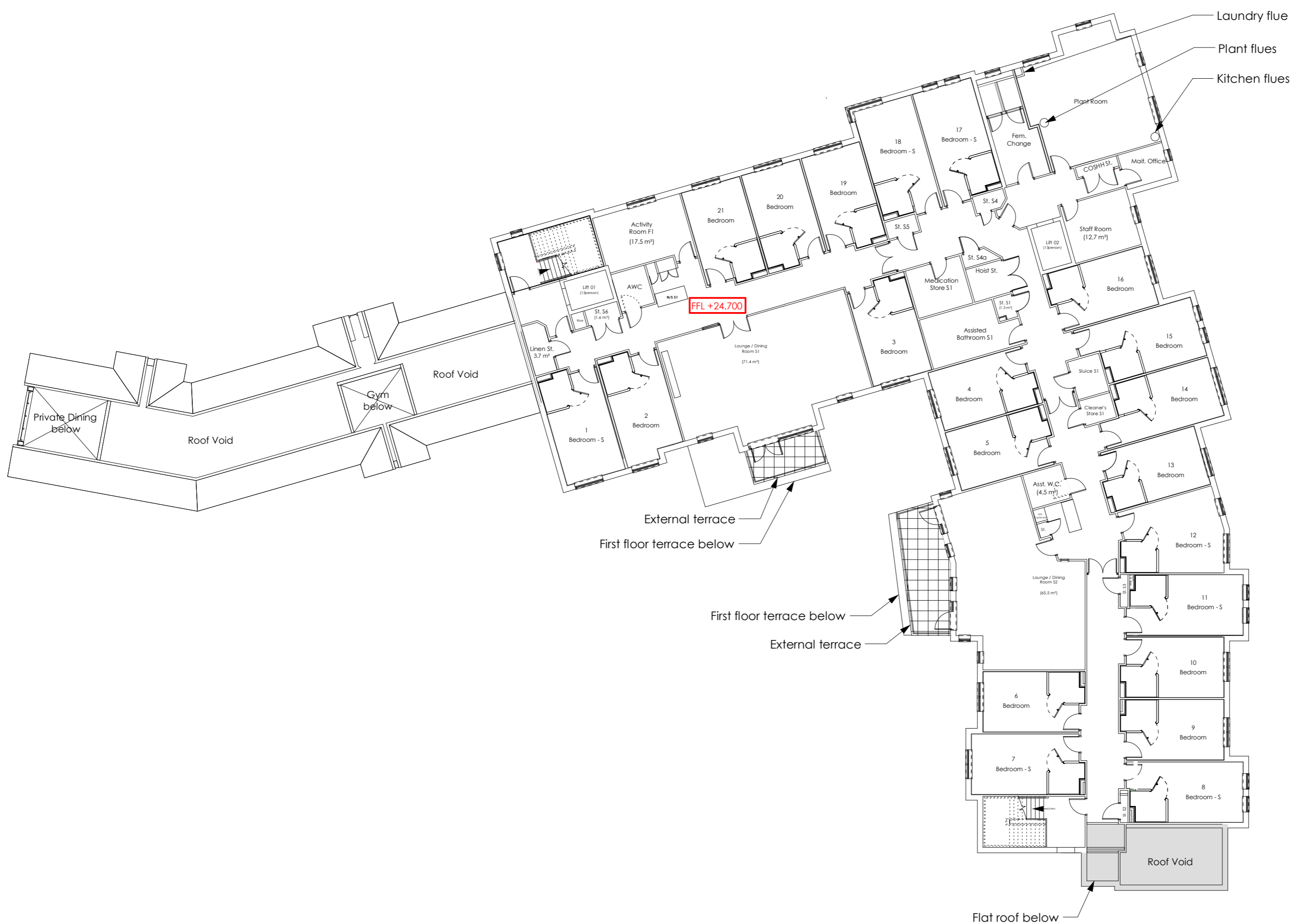
1. Scheme is subject to further detailed design and relevant Statutory Approvals.
2. Scheme is based on topographical survey by Survey Solutions drawing no. 24396ea-01 24/05/2019.

KEY

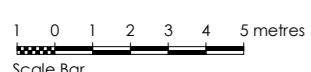
- Access hatch to roof
- Access hatch to roof



ROOF PLAN - PROPOSED



SECOND FLOOR PLAN - PROPOSED



D Drawing amended to suit Client update requirements, refer to Planning Consultant information. 04.10.2021 GWP

PLANNING SUBMISSION

- C Roof line clarified to match previous revision. 14.05.2020 MP
- B Amendments to respond to Planning Officer's concerns:
 1. Lounge/Dining 2 increased.
 2. Bedrooms 4 & 5 relocated from south end of building to increase interface distance to neighbouring property.
 3. Staff area reconfigured and building foot print amended to accommodate.
- A Bedrooms 12 & 17 to 2nd floor, reduced from superior bedrooms to standard bedroom to enable amendments to roofscape/elevations. 19.03.2020 MP

* Planning Issue 15.08.2019 MP

REVISION DETAILS

- Preliminary
- For Approval
- Tender
- Construction

CLIENT
Porthaven

PROJECT
2 Station Road,
Great Shelford

DRAWING TITLE
Second Floor Plan & Roof Plan - Proposed

SCALE drawn by: gte
1:200@A1 MP 19.06.2019

DRAWING NO. revision
18-182-121 **D**



T: 0151 207 4371 F: 0151 207 7087



01 NORTH ELEVATION

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 - Ⓓ All dimensions are to be checked on site. Do not scale from this drawing, work to figured dimensions only. Any queries please contact the architect.
- MATERIALS PROHIBITED**
- Materials prohibited from use, except where used in accordance with 'Good Practice in the Selection of Construction Materials (March 2011)' or unless required by the Contract:
- a) High alumina cement in the structural elements;
 - b) Wood wool slabs in permanent formwork to concrete;
 - c) Calcium chloride admixtures for use in reinforced concrete;
 - d) Asbestos or asbestos containing products, as defined in the 'Control of Asbestos at Work Regulations, as amended 2006' or any other statutory modification or re-enactment thereof;
 - e) Any naturally occurring or man-made mineral fibres (for example, rock-wool or slag wool) with thicknesses of 3 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
 - f) Aggregates for use in reinforced concrete which do not comply with:
 - BS EN 12620:2002, properties of aggregates used in concrete;
 - BS EN 13139:2002, Properties of aggregates used in mortar;
 - BS EN 12607, Part 1 & 2, properties of lightweight aggregates.
 Guidance on avoiding alkali-silica reaction and limitations on alkali content in BS EN 12620:2002 & Concrete Society Technical Report 30 (1999);
 - g) Lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework, by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
 - h) Urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
 - i) Calcium silicate bricks or tiles;
 - j) Vermiculite unless it is established as being fibre-free; calcium silicate bricks or tiles;
 - k) Any products containing cadmium referred to in Statutory Instrument 'S 2004/3311 Control on dangerous substances and preparations Regulations 2006. Reference should also be made to 'BS 1202:2011 Cadmium and lead';
 - l) Any new timber treated with pentachlorophenol;
 - m) Non-galvanneal steel structural fixings for building elements particularly susceptible to erosion;
 - n) Concrete used in circumstances where it is susceptible to alkali-silica reaction;
 - o) Materials containing chlorofluorocarbons (CFC's);
 - p) Solvent based paints except where water based paints are unsuitable for unavoidable;
 - q) Any new materials not in accordance with statutory requirements, British Standards, Codes of Practice and good building practice current at the date of incorporation of the relevant materials into the Works or the specifications thereof.

- NOTES**
1. Scheme is subject to further detailed design and relevant Statutory Approvals.
 2. Scheme is based on topographical survey by Survey Solutions drawing no. 24396ea-01 24/05/2019.
 3. All materials and finishes to be approved by the local Planning Authority.
 4. All bedroom en-suites and inner rooms to be ventilated by mechanical extract grille (wall and roof mounted). Grilles to be colour matched to external finishes. Locations TBC.
 5. Services and plant flues indicative and subject to specialist design.



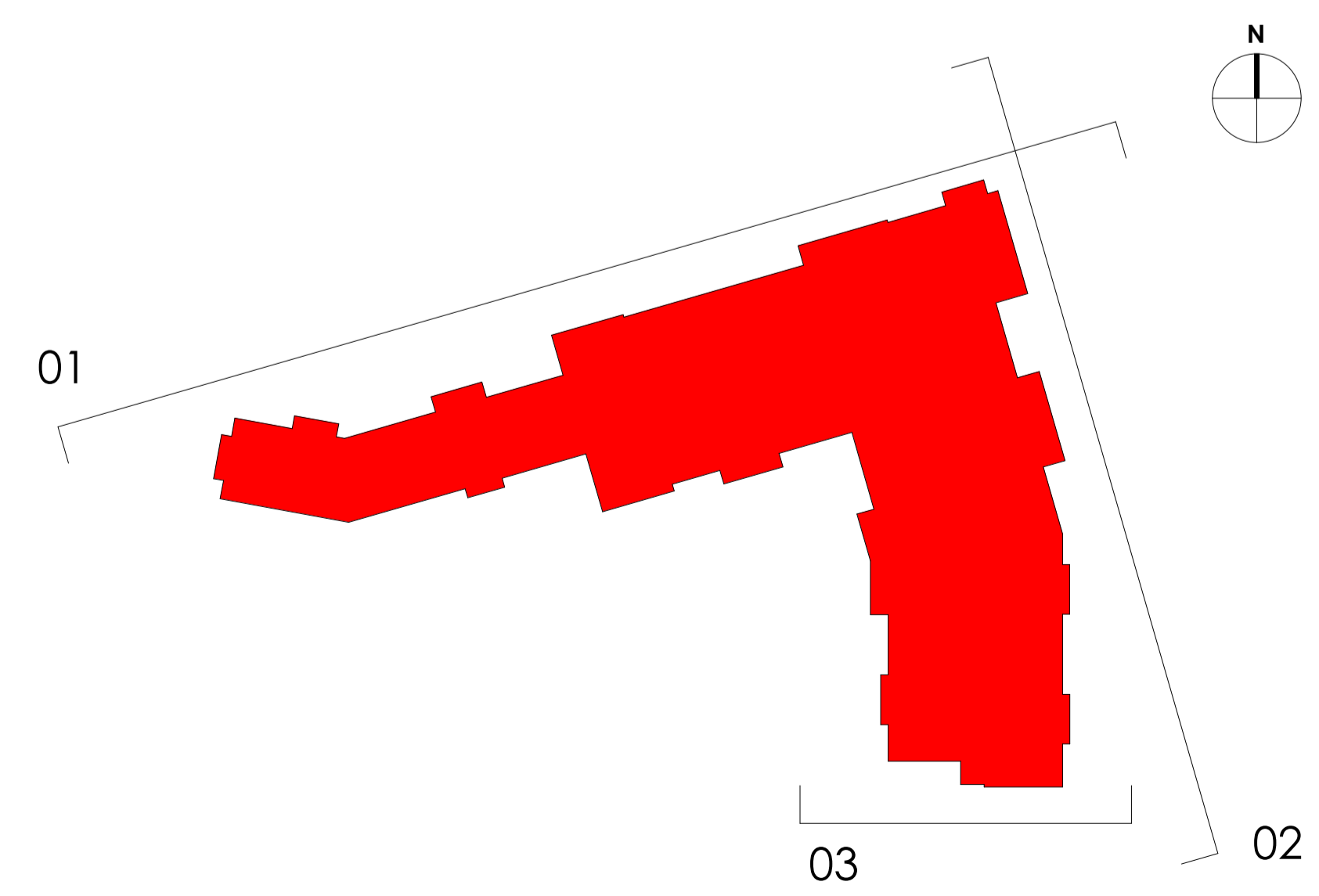
02 EAST ELEVATION

- KEY MATERIALS**
- Facing brick - buff
 - Horizontal cladding - grey
 - Roof tiles - grey
 - Flashing - grey
 - Fascia board - white
 - Rainwater goods - grey

PLANNING SUBMISSION



03 SOUTH GABLE ELEVATION



KEY PLAN - SCALE 1:500

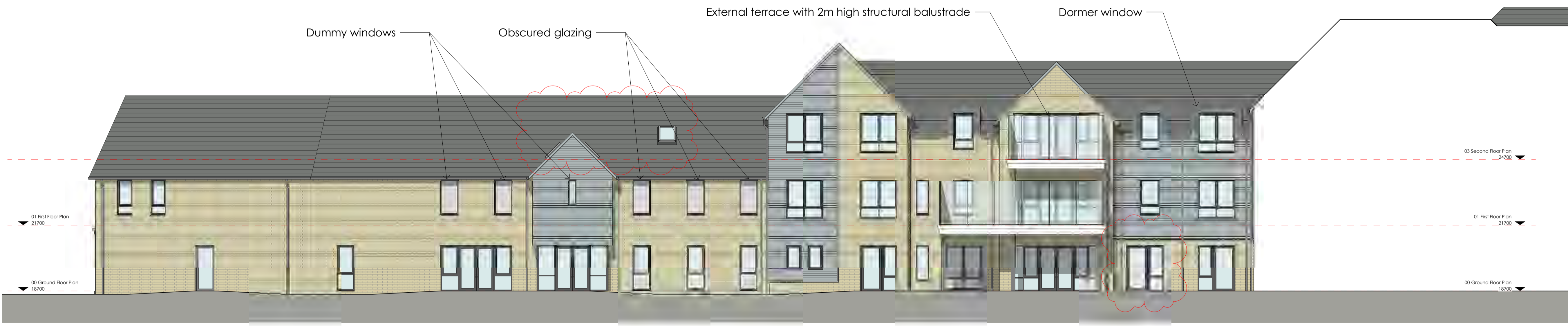
* First Issue	07.10.2021	SC
REVISION DETAILS	date / name	
○ Preliminary		
● For Approval		
○ Tender		
○ Construction		
CLIENT	Porthaven	
LOCATION	2 Station Road Great Shelford	
DRAWING TITLE	Elevations - Proposed - Sheet 1	
SCALE	1:100 @ A1	drawn by date SC 10/07/21
DRAWING NO	18-182-350	revision


 Candy & Loffhouse Ltd
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01 WEST SECTIONAL ELEVATION

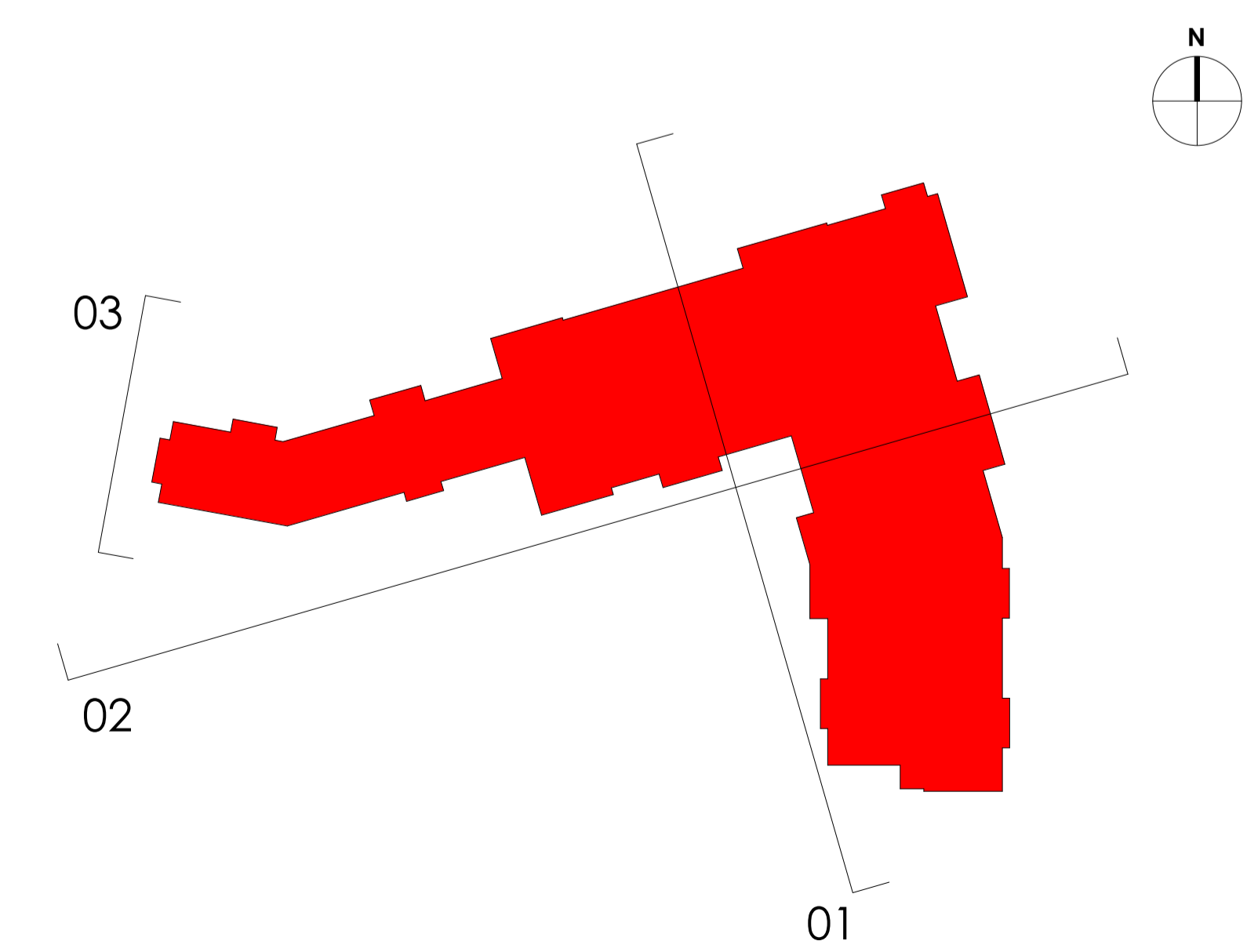


02 SOUTH SECTIONAL ELEVATION



03 WEST GABLE ELEVATION

- KEY MATERIALS**
- Facing brick - buff
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 - Roof tiles - grey
 - Flashing - grey
 - Fascia board - white
 - Rainwater goods - grey



KEY PLAN - SCALE 1:500

NOTES

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- c) Calcium chloride admixtures for use in reinforced concrete;
- d) Asbestos or asbestos containing products, as defined in the Control of Asbestos at Work Regulations, as amended 2006 or any other statutory modification or re-enactment thereof;
- e) Any naturally occurring or man-made mineral fibres (for example, rock-wool or slag wool) with thickness of 3 microns or less and a length of 200 microns or less, unless they are appropriately sealed to prevent migration of fibres;
- f) Aggregates for use in reinforced concrete which do not comply with: BS EN 12620:2002; properties of aggregates used in concrete; BS EN 13397:2002; Properties of aggregates used in mortar; BS EN 13055: Parts 1 & 2; properties of high-weight aggregates. Guidance on avoiding alkali-silica reaction and limitations on alkali content in BS EN 12620:2002 & Concrete Society Technical Report 50 (1999);
- g) Lead, lead paint or any other materials containing lead which may be ingested, inhaled or absorbed, except where copper alloy fittings also containing lead are specifically required in drinking water pipework by any relevant statutory requirement or where lead flashings or other lead roof coverings are specifically provided for in the Contract;
- h) urea formaldehyde foam or materials which may release formaldehyde in quantities which may be hazardous with reference to the limits set by the Health and Safety Executive;
- i) calcium silicate bricks or tiles;
- j) vermiculite unless it is established as being fibre-free; calcium silicate bricks or tiles; any products containing cadmium referred to in Statutory Instrument 2006/3311 Controls on dangerous substances and preparations Regulations 2006. Reference should also be made to BS 1202:2011 Cadmium and lead;
- k) any new timber treated with pentachlorophenol;
- l) non-galvanneal mild steel structural fittings for building elements particularly susceptible to corrosion;
- m) concrete used in circumstances where it is susceptible to alkali-silica reaction;
- n) materials containing chlorofluorocarbons (CFC's);
- o) solvent based paints except where water based paints are unsuitable for unavailable;
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 5. Services and plant flues indicative and subject to specialist design.

PLANNING SUBMISSION

REVISION	DETAILS	DATE / NAME
*	First Issue	07.10.2021 SC
○	Preliminary	
●	For Approval	
○	Tender	
○	Construction	
CLIENT		
Porthaven		
LOCATION		
2 Station Road Great Shelford		
DRAWING TITLE		
Unnamed		
SCALE		
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