

WATERBEACH NEIGHBOURHOOD PLAN

Design Principles

January 2019



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AECOM

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1. INTRODUCTION

1. INTRODUCTION

1.1 The Design Principles

This guidance has been produced by AECOM on behalf of the Waterbeach Neighbourhood Plan Group to set out clear design principles for future development at Waterbeach. This guidance covers the whole parish including the rural central and northern parts as well as the allocated site at Waterbeach Barracks known as Waterbeach New Town.

Waterbeach is a village set within the rural landscape of Cambridgeshire. Many of its characteristic features resonate with those of neighbouring Cambridgeshire settlements from the character of the surrounding landscape to the small scale architectural detailing. Waterbeach is located close to transport routes and the City of Cambridge, putting pressure on the settlement for future expansion. This increases the importance of appropriate development. This document provides a framework for future development in Waterbeach in the form of Design Principles. This document is intended to be read in conjunction with the Waterbeach Heritage and Character Assessment and should be read in conjunction with the Waterbeach New Town Supplementary Planning Document (SPD) once it has been adopted by South Cambridgeshire District Council.

New development within Waterbeach should be of a quality which contributes positively to the existing character and for the benefit of future generations of local residents and visitors. These design principles emphasise the importance of a robust design process and how careful consideration of the context should be taken to create sustainable, characterful and distinctive places whilst allowing for innovation and creative design. These design principles identify the following three main character areas of Waterbeach:

- Waterbeach Village;
- The Urban Edge; and
- The Central and Northern Rural Area.

1.2 The value of good design

The importance of design quality in creating successful places that people want to live and work in is well documented. A number of documents have been produced to help achieve this, none is more relevant than the National Planning Policy Framework (NPPF, 2018). Design is important as our homes and lives are centred around where we live, work and socialise. Research by the former Commission for Architecture and the Built Environment (CABE) and the Royal Institute of British Architects (RIBA) and national guidance including the Urban Design Compendium have all demonstrated the link between good design and improved quality of life, equality of opportunity and economic growth.

1.3 The aim of this guide

This Waterbeach Design Principles sets out clear Design Principles to guide future development within the neighbourhood plan area and to encourage a design-led approach to development. The aim of this guide is to inspire designers to rise to the challenge to deliver high quality, well designed buildings, streets and spaces that are in keeping with their environment and respond to the challenge to deliver sustainable development. The Design Principles consists of guides highlighted throughout the document that development should adhere to. This is accompanied by descriptive text, general guidance and illustrations supporting these guides. The guidance applies to all planning applications from urban extensions through to modest extensions of existing homes.

Waterbeach can broadly be split into the following three main areas:

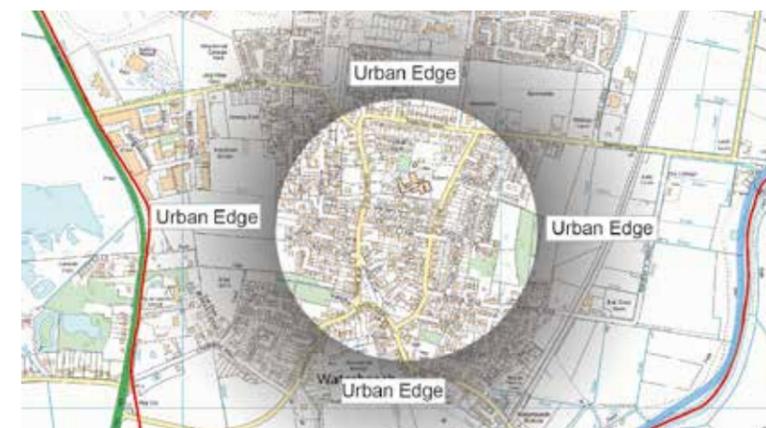
Character Area 1 - Waterbeach Village

This area hosts a rich quality of historic houses demonstrating a range of architectural styles, particularly along the Green Side which encircles the central village green. Plots are often small with buildings fronting onto the street enhancing the sense of place at this central location. There is limited open space and high quality public realm. The area could also benefit from better connectivity, in the form of pedestrian and cycle links to places such as Waterbeach railway station from the centre. These design principles aim to ensure the distinctive characteristic qualities of Waterbeach Village are enhanced where possible.



Character Area 2 - Urban Edge

The urban edge of Waterbeach forms an important transitional area where the historic qualities of the village meet the distinctly rural parts of the neighbourhood plan area. This area includes the former airfield on the north-western edge of Waterbeach and includes a Local Plan strategic site allocation allocated for the development of a mixed use development of 8,000 to 9,000 new homes. At the time of writing two outline planning applications had been submitted relating to this strategic site allocation which in combination proposed up to 11,000 new homes. Development should aspire to be complementary and considerate of its integration into the existing settlement of Waterbeach. These design principles aim to ensure sensitive integration of the New Town with the existing built form on the northern edge of Waterbeach.



Character Area 3 - The Central and Northern Rural Area

The rural parts of Waterbeach are typically flat, open, arable landscape surrounding the village to the north, with very little settlement. These characteristics lead to a strong sense of remoteness and isolation. These design principles look to see these qualities enhanced by future development within this area. Part of this area meets character area 2 of the urban edge and includes the allocation in the Local Plan for the Waterbeach New Town.



1.4 The purpose of this document

The Design Principles support the Waterbeach Neighbourhood Plan, which is being prepared by the Waterbeach Neighbourhood Plan Group. This section outlines the purpose of the Design Principles and the value of good design. It will explain how this document is structured and how the design process should be undertaken by all applicants.

These Waterbeach Design Principles establish 'rules' for the design of individual developments in order to deliver consistent and locally distinctive high quality architecture that contributes to, and is in keeping with, the existing character of Waterbeach.

Photographs of local buildings and house types that are representative of the local vernacular are used throughout this document. The use of drawings and sketches demonstrate how the materials, elements, details and colours are typically used and how the design principles can be applied. The case studies provided give examples of an approach to the application of the Design Principles applicable to the area in question.

The structure of the Waterbeach Design Principles are intended to be flexible in order to accommodate future pressures on development in Waterbeach. As a result, this should be viewed as an evolving document that can be refined and developed over time.

1.5 How to use the design principles

This document provides a working tool for the design of future development in Waterbeach and will be used for assessing the quality of planning applications. The design principles should be used to inform the neighbourhood planning policies. All the Waterbeach Design Principles (WDP) apply to the whole of the neighbourhood area, however where certain WDP's are more relevant they have been highlighted in blue boxes throughout the character areas.

The user should use the Waterbeach Design Principles (WDP 1-17) in the development of their design proposals. This should be done in conjunction with the policies set out in the SCDC Local Plan (2018) and the resources in Section 2.6 (see page 12).

The Design Principles should be read and used by:

- Developers when considering potential development proposals;
- Householders, considering residential alterations and extensions;
- Design professionals, in drawing up schemes for development;
- Development control officers, as a material consideration (a matter that is taken into account when deciding a planning application eg the loss of light or loss of privacy) in assessing the suitability of applications; and
- Parish councils, statutory and non-statutory consultees and the public in commenting on planning applications.

Waterbeach Parish Council strongly encourages householders, local builders, developers and any others commissioning design within the built environment to employ appropriate design professionals such as architects, landscape architects, agricultural consultants, heritage consultants and urban designers. Compliance with the Design Principles will speed up the planning process by reducing the chance of objections due to poor design.

1.6 Understanding planning

National and local planning policies will influence whether a site is suitable for development and the form and nature of development that is acceptable. The applicant should carry out a planning review of relevant planning policy documents depending on the nature and scale of the application.

The National Planning Policy Framework (NPPF) 2018 encourages local authorities to consider using documents such as this to help deliver high quality outcomes for new development. It is important however, that guidance finds the balance between promoting and reinforcing local distinctiveness and allowing for innovation and originality. The NPPF suggests that guidance should focus on the "overall scale, density, massing, height, landscape, layout, materials and access of new development in relation to neighbouring buildings and the local area more generally" (NPPF,2018), rather than imposing particular styles or tastes.

The NPPF requires local authorities to set out in their Local Plan a positive vision for the enhancement and enjoyment of heritage assets (MHCLG, 2018). Part 1 Conserving and enhancing the historic environment clearly states that local authorities should recognise "the desirability of new development making a positive contribution to local character and distinctiveness" and should seek "opportunities to draw on the contribution made by the historic environment to the character of a place".

Depending on the scale of development, relevant statutory and non-statutory authorities and council officers should be consulted to understand their policies, requirements and initial advice. Relevant stakeholders for applications within Waterbeach are listed below:

- Cambridgeshire County Council and South Cambridgeshire District Council (SCDC);
- Historic England / Natural England / Environment Agency;
- Utility companies/ Fire services/ Police service.

Relevant local documents to review alongside these Waterbeach Design Principles:

- South Cambridgeshire Design Guide March 2010;
- Waterbeach Heritage and Character Assessment, 2018;
- South Cambridgeshire Local Plan Adopted 2018.

There are some forms of development that are classed as 'permitted development' and therefore do not need planning permission. Even if a planning application is not required you should follow good design principles. This is most important within the Waterbeach conservation area. See opposite, which shows the extents of the conservation area boundary where greater restrictions exist on development and the permitted development rights are more restricted for applications within this area. The Waterbeach Conservation Area appraisal had not been written at the time of writing this report, nor a formal boundary plan adopted.





The Old
Post Office

CAMBRIDGE ROAD

2. THE APPROACH TO GOOD DESIGN

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This section describes how applicants should begin their design process and the steps that should be taken to achieve successful design. This includes the categories referred to as 'Core Place Making' principles (Urban Design Compendium, UDC 2007), within which specific Waterbeach Design Principles will be described. The final section 'Design for Change' looks at how design should accommodate for the future.

Applicants should prepare initial design proposals in line with the relevant guidance found within these Design Principles. Initial layouts/ designs should respond to the work carried out in Section 2 and Section 3 illustrating a clear relationship between the site's setting and the proposals put forward. The requirements for the initial design proposals will depend on the scale and nature of the application.

The following core place making design objectives, as set out in the Urban Design Compendium (UDC), should be applied to all development proposals or masterplans to give form and character to a development:

- Places for People;
- Enrich the existing;
- Make connections;
- Work with the landscape;
- Mix uses and forms; and
- Design for change.

The core place making design objectives apply to each and every one of the seventeen Waterbeach design principles (page 7). These are overarching objectives that all developments should aim to achieve and are applicable to every character area. The seventeen design principles are bespoke to Waterbeach offering a tailored way for Waterbeach to achieve the core place making urban design objectives. The applicant will inherently be creating proposals which will satisfy the core place making principles set out in the Urban Design Compendium.

Each site will have specific strengths, weaknesses, opportunities and challenges that should be addressed through design. Therefore masterplans cannot be predefined for different places, which will need to be analysed and interpreted on an individual basis by designers.

The following section describes the process which needs to be followed to achieve good design. This includes how to use the UDC core place making design objectives.



Focal tree planting along Green Side adding to the quality of the open space.

2.1 First steps

It is important to understand the benefits of engaging skilled design professionals at an early stage to ensure high-quality solutions. The Waterbeach Design Principles alone cannot produce good creative solutions as this is the job of a good creative professional. The first step is to appoint a design professional, conduct a site survey and review planning policy.

2.2 The design process

The delivery of high quality development is dependent upon good design and the use of these Waterbeach Design Principles. A process which starts with site assessment and research on policy and guidance. The design should consider all relevant issues, constraints and opportunities. It should engage with key stakeholders and the public (where appropriate) at an early stage in design. These proposals should respond to the site's surroundings and enhance the character of the area.

2.3 Responding to the site and setting

Applicants should assess the context and character of their site to ensure that new development will respect, respond and enhance the distinctive characteristics of Waterbeach. The aim of new development should be to respond to and enhance the existing character of Waterbeach.

When making a planning application the proposals should show evidence of:

- Use of the Waterbeach Design Principles (WDP) (Section 3);
- Site assessment - identifying and address site specific constraints and opportunities (Section 3);
- Responding and adhering to the local distinctiveness (identified in the Waterbeach Heritage and Character Assessment);
- Show evidence of the effects of Strategic Planning Policy (Section 4); and
- Adhering to the South Cambridgeshire Local Plan 2018 (Section 5).

2.4 Community consultation

Depending on the scale and nature of the application it may be appropriate to carry out public consultation with the existing community. Planning can be a potentially contentious process as proposals can affect a wide range of people. The Government promotes a proactive approach to planning where community engagement and effective consultation are carried out prior to the submission of a planning application.

This can be used to gather views on key aspects of the site and its context which are considered important to the local community, views on initial options and ideas and to gain an understanding of any concerns that the community may have in relation to an application.

The parish council encourages all applicants and their agents to consult their neighbours before they submit a planning application. Where appropriate for larger applications, the parish council advises developers to consult more widely.

2.5.0 Core Place Making

The neighbourhood plan area has many positive aspects that contribute to the rich character of Waterbeach, which should be sustained, reinforced and enhanced. These urban design principles are from the character management principles set out in the Waterbeach Heritage and Character Assessment. The Waterbeach Design Principles



Example of a well kept front garden set back from the road along the High Street.

have been categorised in to 'core place making' urban design category's taken from the Urban Design Compendium (UDC 2007).

2.5.1 Places for People

'For places to be well-used and well loved, they must be safe, comfortable, varied and attractive. They also need to be distinctive and offer variety, choice and fun. Vibrant places offer opportunities for meeting people, playing in the street and watching the world go by' (UDC, 2007). **Quality public realm** provides robust urban landscapes and contributes to the sense of place which defines a single place and makes it distinctive.

2.5.2 Enrich the Existing - Site Assessment

The best way to appreciate the context of the site is to carry out a site assessment. A site survey should form part of the site assessment and is fundamental to establishing the opportunities and constraints specific to each site. These factors need to be considered and used as evidence to support appropriate design and enable integration into the existing urban form. The following aspects from UDC need to be considered in the site survey:

- Strengthening local communities;
- Creating places of distinction;
- Harnessing intrinsic site assets;
- Integrating with the surroundings;
- Ensuring feasibility; and
- Providing a vision

The materials used throughout Waterbeach contribute to the special character of the area and the local vernacular. It is therefore important that the materials used in proposed developments are of a high quality and in keeping with their surrounding environment. Each development should demonstrate the palette of materials has been selected based on the adjacent buildings and surrounding built environment. Materials

should be appropriate, high quality and sympathetic to Waterbeach.

These design principles focus on creating a palette of materials on the following elements which should be identified during the site survey:

- Walls, roofs and eaves;
- Windows and doors, including their surrounds;
- Paving, boundary walls, fencing and drainage; and
- Garden vegetation.

Buildings in Waterbeach were designed and constructed by a number of different architects and builders, which resulted in a diverse mosaic of urban form. It is therefore important that original buildings and their existing architectural features are retained to conserve this variety.

Development in Waterbeach needs to achieve the following:

- New development, and alterations to existing buildings, should respect the position of existing buildings relative to the street and within the plot;
- Original boundary features, such as walls and hedgerows, should be retained;
- Materials used for the repair or alteration of buildings, for new buildings, and for surfacing and boundaries should enhance the existing high quality of materials in Waterbeach;
- Restoration of existing buildings in the Conservation Area is preferable to the demolition and replacement of important characterful buildings;
- Where buildings are modernised, existing proportions of doors and windows should be retained;
- A palette of high quality materials is used throughout the area, with variation between each street and the designer should pay attention to these subtle differences, respecting the character of each street;
- Architectural detailing is rich with a variety of different styles and decoration used in buildings across the area. The design of extensions and new buildings should reflect this detailing to ensure that the development is in context with its surroundings. Larger development schemes should also include a variety of different styles to continue the level of architectural interest in the plan area;



Gateway to the countryside at the level crossing at Bannold Road.

- None of the above should stifle the opportunity for innovation or creative interpretations of the design principles, as far the design does not negatively impact on the distinctive character of Waterbeach.

The following policy and guidance is relevant in addition to those stated in section 1:

- Recreational Open Space Study July 2013, by SCDC.
- Open Space in New developments SPD, Jan 2009, SCDC.
- Urban Design Compendium, 2007 (Llewlyn - Davies)

2.5.3 Making Connections

The street, block layout and buildings contribute to an attractive townscape and a strong sense of place. Towns and large villages such as Waterbeach depend on movement of people and services to make life possible. This makes the village functional and allows wider connections to neighbouring settlements to be made. The success of Waterbeach will be measured on how well it achieves the following:

- Linking up - of new developments with existing built form;
- Movement choices - with a preference for sustainable transport methods;
- A sense of place - responding to local context;
- Safe routes for all - critical to the success of any scheme;
- Sufficient parking and traffic management - to reduce on street parking and provide additional parking at Waterbeach railway station.

Design in Waterbeach should aim to include the following design elements:

- New development blocks should be permeable to provide legible connections through the area and beyond;
- Front gardens should not be sacrificed for parking;
- Extensions should not close the existing gaps between buildings or block views towards rear gardens;
- The existing pattern of streets and footpaths should be retained where possible; and
- Development should provide a safe and high quality pedestrian/cycle environment in order to promote sustainable transport routes.

2.5.4 Work with the Landscape

Waterbeach recreational ground, private gardens and street trees, together with other open space such as Green Side form the green infrastructure of the area and contributes to the overall openness and biodiversity in Waterbeach. The direct and indirect impacts on these elements need to be carefully considered. Front gardens and the vegetation within them contribute strongly to the character of each street and provide the setting to each building.

Design in Waterbeach should aim to include the following design elements:

- Provide a variety of open spaces linking a network of existing landscapes;
- Public realm or communal green space should be provided in development plots to contribute to the provision or enhancement of green space in the area;
- Gardens and the mature vegetation within them should be retained to ensure that each building has an attractive, verdant setting;
- Development should contribute towards the provision of green infrastructure and support biodiversity through integration of new wildlife habitats and green building methods;
- Innovation such as bat roosting / bird nesting bricks in buildings or boxes on trees;
- A variety of species should be considered for planting with a mixture of both native and ornamental species to enhance biodiversity and biosecurity (the procedures followed to protect living material from harmful biological contamination), and



View from Waterbeach recreation ground looking south. climate change resilience; and

- Green or brown living roofs on buildings should be encouraged as part of new development. Green walls on rear or side elevations where the green wall does not reduce views across the public realm.

2.5.5 Mixed uses and form

"Stimulating enjoyable and convenient places meet a variety of demands from the widest possible range of users, amenities and social groups. They also weave together different building forms, uses, tenure and densities" (UDC, 2007)

- The scale, height and massing of buildings should reflect their context;
- Make a clear distinction between centre and edge development;
- Development should support a mix of activities and facilities;
- Reduce the level of car dependency in the community (See the 'Transport for New Homes' report published in July 2018 online); and
- Provide walkable neighbourhoods with proposed facilities complementing existing facilities and nodes (points at which pedestrian, cycle or motorised routes converge) within Waterbeach.

2.6 Design for Change

Development should consider the adaptability of proposals to accommodate future changes by creating an accessible environment which offers a range of facilities and services. New developments should always look to exceed minimum requirements set out in the Local Plan and by other policy documents.

This document should be read in conjunction with relevant national, regional and local planning policy and supplementary documents and guidance, including:

- National Planning Policy Framework, 2018;
- Waterbeach Heritage and Character Assessment, May 2018;
- Code for Sustainable Homes, May 2008;
- Lifetime Homes Design Guide, November 2011;
- Towards Lifetime Neighbourhoods: Designing sustainable communities for all, November 2007;
- Building for Life 12, third edition, January 2015;
- Secured by Design, Design Principles: Homes 2016, New Homes 2014, Commercial 2015 V2;
- Manual for Streets, Part 1 and 2, March 2007;
- Draft Waterbeach New Town SPD, SCDC September 2018;
- Development Affecting Conservation Areas SPD, SCDC January 2009;
- District Design Guide - High Quality and Sustainable Development in South Cambridgeshire SPD, SCDC March 2010; and
- Cambridgeshire Green Infrastructure Strategy, June 2011.



WADDELOW ROAD
LEADING TO DENSON CLOSE,
JUBILEE CLOSE, PRIMROSE LANE,
ROOKERY CLOSE, WILES CLOSE

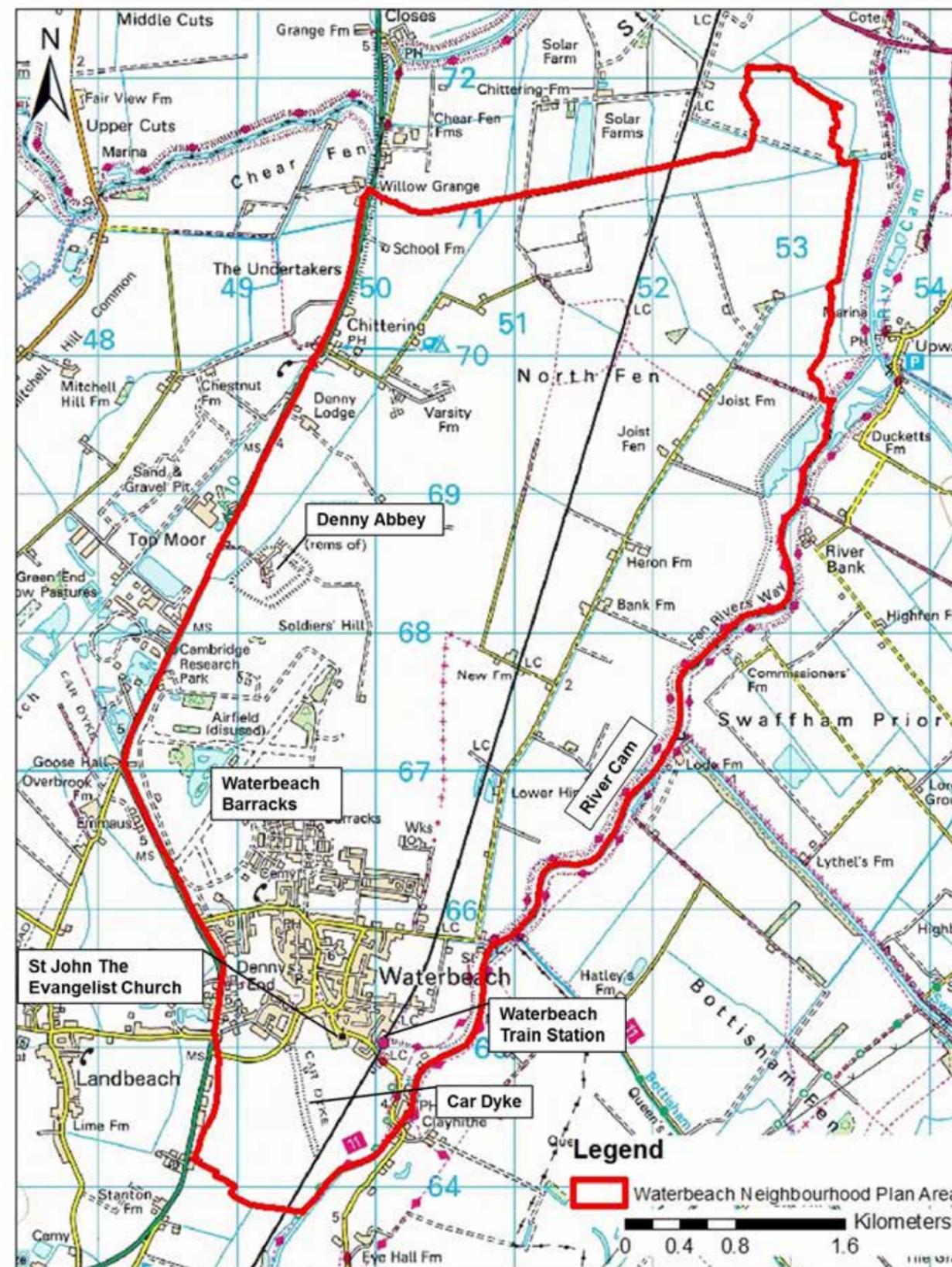
3. WATERBEACH DESIGN PRINCIPLES

WATERBEACH DESIGN PRINCIPLES

The Waterbeach Design Principles are set out below. They should be evident in all applications in the Waterbeach Neighbourhood Plan Area. They are taken from the Waterbeach Heritage and Character Assessment where principles for managing change were identified. The Neighbourhood Plan Group recognises that the neighbourhood area is likely to evolve over time as a result of changes to the climate, existing buildings and the large housing allocation Waterbeach New Town. However, certain aspects of the area are sensitive and successive individual changes may cumulatively erode its character. The following Waterbeach Design Principles (WDP) have been developed to help prevent this from happening:

- **WDP 1:** New development and building alterations should use materials of a high quality, which respond to the character of the buildings in the area. They should have strong attention to architectural detailing typical of the distinctive character of Waterbeach;
- **WDP 2:** Retail opportunities central to the Green Side need to be unified, the village could benefit from a focused area of retail units such as the High Street;
- **WDP 3:** Infill development along the Green Side, High Street and where Cambridge Road connects with Station Road is likely to be less appropriate where it would result in an increase in density or the loss of gaps between buildings when viewed from the street;
- **WDP 4:** New development should respond to the village characteristics of Waterbeach, in particular plot widths and proportions, building lines, roof lines, heights, the scale of buildings, massing and boundary treatments;
- **WDP 5:** Alterations proposed to existing buildings including the adaptation or replacement of external features should demonstrate a detailed knowledge of the history and design qualities evident. A clear rationale for how this is taken account of in the design of the alterations proposed should be provided;
- **WDP 6:** Buildings and features of historic interest or townscape interest identified in this assessment within and outside of the conservation area including their setting should be protected;
- **WDP 7:** The importance of trees in both public and private spaces needs to be addressed, as they are significant contributors to the character of Waterbeach. New development should not normally result in the loss of existing trees and tree groups and proposed trees should be incorporated into new development, increasingly so at the edge of the village;
- **WDP 8:** Proposed dwellings at the rural edge of the settlement should be set back from the street and boundary planting provided to maintain the distinction with the rural landscape as well as at a density reflective of the rural edge location;
- **WDP 9:** Discrete locations of mobile homes provide an important house type whilst retaining the character of Waterbeach;
- **WDP 10:** Informal recreational green space accompanied by appropriate planting should form the framework of new development;
- **WDP 11:** The rural landscape should be managed to retain its distinctive sense of remoteness and isolation;
- **WDP 12:** The noticeable lack of graffiti and vandalism enhances the quality of the experience felt traveling through the village and is a reflection of the enormous appreciation the community has for the character of its village. This should be maintained;
- **WDP 13:** Street furniture should contribute to the sense of place;
- **WDP 14:** Proposals should include adequate provision for car parking and traffic calming where necessary;
- **WDP 15:** Opportunity for innovation and the creative interpretation of the design principles is encouraged, so long as the design enhances the distinctive character of Waterbeach;
- **WDP 16:** Encourage the improvement the public realm in Waterbeach village; and
- **WDP 17:** Encourage better legibility and connectivity through improving existing road networks and by providing well connected sustainable access routes.

Opposite, the diagram shows the extent of the Waterbeach Neighbourhood Plan Area to which the above Waterbeach Design Principles will apply. Important features within Waterbeach are highlighted here for consideration when making any application.



Waterbeach Neighbourhood Plan Area



Typical house in Waterbeach.

3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

This section focuses on the Waterbeach Village character area. It starts with a suggestion of how a site assessment could be carried out and what aspects it should cover. The main body of this section highlights the design features which contribute to the area's existing character. These two processes should form part of any successful future application within Waterbeach Village. The WDP's can also be seen in highlight boxes throughout this section to indicate which design principles are particularly relevant to this area.

Enrich the existing

Site Assessment

Opportunities and constraints for each site need to be considered and used as evidence to support appropriate design, layout and streetscape. Some key aspects to inform the design are:

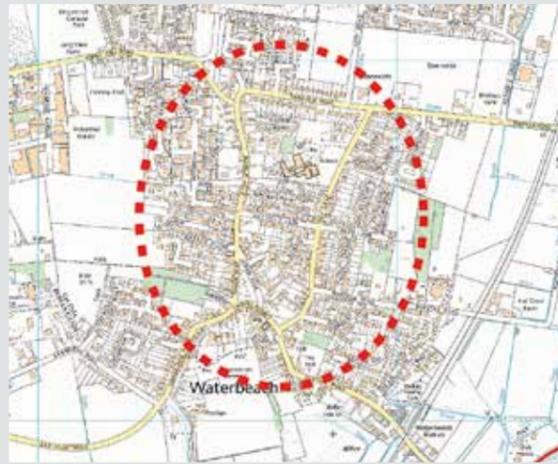
Opportunities:

- The influence of historic buildings and their settings;
- Strong focal space at the centre of the village at Green Side;
- Lack of public realm and landmark buildings;
- Provision of public transport;
- Policy research.

Constraints:

- Listed buildings and the conservation area;
- The limited provision of public open space;
- Tree Preservation Orders (TPO's);
- Impact of traffic and the provision of car parking;
- Designations and statutory protected elements.

WDP 1: New development and building alterations should use materials of a high quality, which respond to the character of the buildings in the area. They should have strong attention to architectural detailing typical of the distinctive character of Waterbeach.



Waterbeach Village character area

Nodes within Waterbeach include the central green, the Denny Industrial Estate, Waterbeach Recreation Ground and the railway station. All these features within the village form centres where information or activities draw people together. Proposals should not detract from these existing focal points.



Focal point at the Green side with the bus stop and central green.

Gateway features should reflect the scale and setting within which they lie. These features should appropriately enhance the sense of the settlement in materials and design. Some gateways are already part of Waterbeach's distinctive character such as Waterbeach Barracks, the arrival from A10.

Feature planting and landscape design can also be considered to reinforce gateways. Tree lined avenues to central points such as those at the main entrance to the barracks from Denny End Road include an avenue of cherry trees in a large area of grassland which are important landscape features. Such features should be retained as part of future proposals.

Nodes should offer employment, shopping and transport links (and more often entertainment) and form an integral part of the settlements pattern and layout. Additional proposed nodes will require rigorous analysis regarding their sustainability to accommodate future needs. In addition to assessing the potential effects on existing nodes.

WDP 2: Retail opportunities central to the Green Side need to be unified, the village could benefit from a focused area of retail units such as the High Street.

WDP 3: Infill development along the Green Side, High Street and where Cambridge Road connects with Station Road is likely to be less appropriate where it would result in an increase in density or the loss of gaps between buildings when viewed from the street.



Entrance to Waterbeach Barracks from Denny End Road with a cherry tree avenue

Main entrances to houses and non-residential buildings should directly face onto the street and be clearly visible from the public realm. Front gardens provide a degree of privacy and should form an important part in the mix of housing types in future developments. Photographs below show examples of porches and relief columns used throughout the Waterbeach Village character area and should form part of future development proposals.



Examples of porch details evident throughout Waterbeach, but especially prevalent in the conservation area.



Historic shops and their original frontages exist on the High Street. Timber windows and doors, with simple signage and a sympathetic approach to lighting are distinctive. New retail units should use appropriate materials which reflect the examples presented on the High Street. Lighting and advertising should be sympathetic with the shop's setting and not adversely impact on the visual amenity of the surrounding area.

The creation of active frontages combined with the congregation of retail units would result in the formation of a small hub creating a destination for local residents and visitors.

Chimneys are a common architectural feature in Waterbeach, so new developments should include these positive design features. Typically, multiple chimneys are evident on roof tops commonly with multiple chimney pots and in the same brick material as the rest of the building.



WDP 5: Alterations proposed to existing buildings including the adaptation or replacement of external features should demonstrate a detailed knowledge of the history and design qualities evident. A clear rationale for how this is taken account of in the design of the alterations proposed should be provided.

Materials used in new development should respect the materials typical of the existing buildings in the street, the streetscape or the existing building in the case of extensions. Selected materials should be durable, high quality and easy to maintain. New detached houses should demonstrate a respect for the existing materials palette used in the area, which is likely to vary subtly on a street by street basis (See WDP1). A common palette of materials used for buildings is buff gault brick, timber framed and white painted render. Proposals are expected to demonstrate consideration of these materials and architectural detailing.

Historic street signs should be restored and retained throughout the neighbourhood planning area. Material palettes proposed in new houses, extensions or alterations should be agreed with the council.

3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

Street planting

Development proposals should consider street tree planting, which is a key characteristic of the central part of Waterbeach. Designs should link proposed street tree planting and other types of planting with existing open space and green corridors to improve Waterbeach's green infrastructure.

Proposed street trees should be located no closer than 1m to the back of the kerb. Tree pits should be detailed in accordance with Trees and Design Action Group (TDAG) Trees in hard landscapes. Where there is space in the pavement, tree pits should be designed to incorporate planting.

Proposals which affect the front of properties should be accompanied by detailed plans which show a commitment to retaining and enhancing attractive, well-vegetated gardens.

Works within or adjacent to the street should provide procedures for protecting and working with trees in accordance with BS 3857 and National Joint Utilities Group (NJUG) 10 Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees.

Development proposals should retain important landscape features, mature trees and planting wherever possible and incorporate these features into the landscape structure.

Tree species should be selected in view of the space available to accommodate the tree, such as the width of the street and footpath and the set back of adjacent building.

Where street trees are missing adjacent to new development, trees should be proposed to reinstate the original line of trees in the street. Species should be selected to contribute to, and enhance the biodiversity of the area. Native species should be supplemented with a range of ornamental species to increase variety, biodiversity and provide increased biosecurity and climate change resilience.



Street trees on amenity grass contributing to the development's green infrastructure



Trees in private gardens neighbouring High Street contribute to the verdant street scene



Street trees play an important role at focal points within developments. This development should have given greater consideration to street tree planting



An example of a plan view of street tree planting

WDP 7: The importance of trees in both public and private spaces needs to be addressed, as they are significant contributors to the character of Waterbeach. New development should not normally result in the loss of existing trees and tree groups and proposed trees should be incorporated into new development, increasingly so at the edge of the village.

Layout

Places for people



Existing urban grain of Waterbeach at the historic core.



Building facing onto the street. Building with front gardens. Larger plots with large front and rear gardens

Key
The redline highlights the area being described

WDP 4: New development should respond to the village characteristics of Waterbeach, in particular plot widths and proportions, building lines, roof lines, heights, the scale of buildings, massing and boundary treatments.

New developments proposed within the existing urban area that form a block, a mews type or group of buildings, should create an arrangement where buildings face onto the street preventing the creation of unusable space.

Due to the human scale present at Waterbeach, development may consist of varying building typologies. Those in prominent locations should create focal points with frontages that form a consistent building line along the street. Opportunities for front gardens can be created as the distance from the focal point increases.

Boundary Treatments



White picket fence with brick pier



Brick piers on High Street



An example of high quality detailing in this brick wall, door and archway on the High Street

Waterbeach exhibits a range of boundary treatments including railings and picket fences. This should inform future designs and be considered on a street by street basis with reference to historical information. Boundary treatments should be reflective of the area and local traditions in terms of height, structure and materials. Brick piers to short boundary walls are a common feature in most areas. Where development includes proposed boundary treatments or the replacement of an existing property boundary, they should be replaced with original boundary features common to the street, such as walls or hedgerows.

Surveillance

Natural surveillance allows people to look out from their windows onto open space like in the example opposite. This design consideration increases the perception of safety and maximises inter-visibility and fosters positive social interaction. This is a design element widely encouraged in policy and should be encouraged in Waterbeach.



Open space as a community focal point surrounded by housing supporting natural surveillance

3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

Places for people (continued)

New development where open space takes on a dual role, for example as drainage attenuation and provide public amenity space, the area should function for both purposes.

Asphalt is not promoted as a favourable surface material when trying to achieve high quality public realm because it contrasts with the buff brick common in historic buildings in the village. A number of good examples of appropriate surfacing are present in new developments and their success is based on the materials ability to complement the surrounding built form.

Surfacing surrounding trees should consist of grass verge or shrub planting. Where space for footpaths is narrower it may be considered acceptable to finish the tree pit with self-binding gravel to provide a continuous pavement.



Poor provision of usable public open space in a modern development.

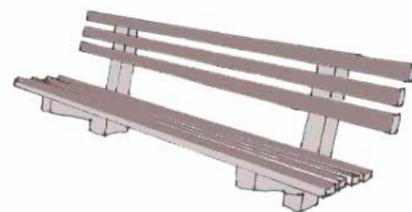
Street furniture designs and specifications should complement the existing traditional styles shown throughout the area, which form part of the local vernacular. Design should be created in accordance with the South Cambridgeshire Design Guide, SPD 2010.

The design and location of street furniture should complement the historic setting of Waterbeach as well as contribute to the safety and security of the area. Seating should be provided in locations where people are encouraged to gather and be consistent throughout the area.

Seating should be provided at regular intervals along streets to provide assistance for people who have limited mobility to access community and retail services. Ultimately street furniture needs to be well designed, respect the local vernacular and be robust.



Use of traditional timber finger sign post within the conservation area



WDP 13: Street furniture should contribute to the sense of place.

Proposed street furniture should complement traditional street furniture

Architectural detailing

Proposed building façades should indicate the importance of each storey through a combination of composition of building elements, increased height for the most prominent floor and the level of architectural detailing used. Brick detailing in Waterbeach includes red brick symbols and detailing around windows and door ways. This can be used to inform future architectural detail design.

Public buildings or buildings of commercial use with street frontages to the public realm, should be defined by a well-articulated building façade.

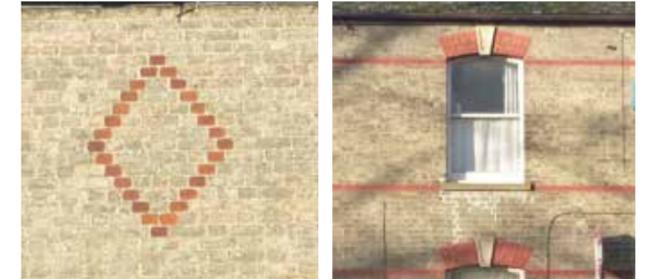
WDP 1: New development and building alterations should use materials of a high quality, which respond to the character of the buildings in the area. They should have strong attention to architectural detailing typical of the distinctive character of Waterbeach.

Regular, geometric fenestration is mirrored in most semi-detached properties. Windows in terraced or semi-detached houses should be spaced at intervals that provide a vertical pattern that reflects local architectural detailing in each building elevation.

The addition of sky lights may be considered acceptable in the rear of the house if they are in keeping with the proportions and pattern of windows displayed in the rest of the building. They are less likely to be acceptable in front elevations.

The choice of window design should be determined by the overall design approach. The number of window opening's, their size and frequency can have a profound effect on the appearance of a building. The materials should reflect the timber frames and Georgian style, common in the historic buildings. Some front doors have fan transoms adding to the local distinctiveness, as seen opposite. It is common for windows to have lintels and sills, often in brick or painted white and made of local stone. In some older houses these are decorative however, it is more common for them to be simple and accentuate the definition of the window by contrasting with buff brick surrounding it.

Alterations to windows should be in keeping with the character of the existing building. Sash windows should not be replaced by casement windows. The proportions and number of windows on each elevation should mirror existing examples within the area and reasoning should be offered where this guidance is not followed.



The symmetrical fenestration of existing buildings within Waterbeach Village

3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

Open space

Work with the landscape

Applicants need to consider how proposed open space links to existing green space providing a wide network for green infrastructure. The physical characteristics of a site typically include topography, orientation, land form, geology, drainage patterns, field patterns, boundaries and vegetation cover.

Parks and play facilities should be used as community focal points with development, as recommended in the Recreational Open Space Study July 2013, by SCDC.

Landscape features that have high biodiversity/ecological value should be retained and incorporated within the proposals. Development proposals should work with the topography with buildings integrated within the existing topography in order to soften the appearance of a new development within the landscape. Views out of a site to prominent landscape features and landmarks should also be retained and where possible enhanced. WDP 7 highlights the important of trees and is therefore relevant to trees in any proposals related to existing or proposed open space.

A management plan describing how the maintenance of all elements in the landscape will be maintained should accompany all soft and hard landscape proposals.



Future development should connect to and contribute to the existing community green space.

Gardens/Allotments

New developments should consider the provision of allotments if they are required. This can be provided as part of off-site contributions. A number of the WDP policies are applicable, particularly WDP 7.

WDP 7: The importance of trees in both public and private spaces needs to be addressed, as they are significant contributors to the character of Waterbeach. New development should not normally result in the loss of existing trees and tree groups and proposed trees should be incorporated into new development, increasingly so at the edge of the village.



Waterbeach Allotments at Glebe Road



A well planted front garden of a property on High Street

Plot proportions

Development proposals should retain important landscape features where possible and incorporate them into the proposed landscapes.

The proportions of front gardens should reflect existing buildings in the vicinity. Existing front gardens should be retained to ensure a green setting to the building and enhance the public realm. New development will be expected to provide front gardens as well as rear garden space.

In any new development or extension, existing roof lines along High Street, Station Road and Car Dyke Road should be respected to maintain a consistent roof line along the street.

Any infill development between existing buildings of different heights should create a roofline which integrates the new development and creates rhythm along the street. New development or building extensions should respect the existing building lines.

Roof lines and storey heights

Mix uses and form

Replicating existing designs and detailing in modern materials can lead to poor quality pastiche, which is strongly discouraged.

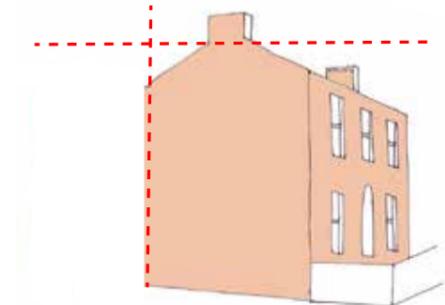
New development should generally reflect the scale of the existing settlement in the surrounding context of the site.



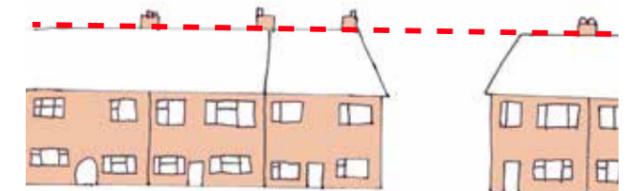
WDP 4: New development should respond to the village characteristics of Waterbeach, in particular plot widths and proportions, building lines, roof lines, heights, the scale of buildings, massing and boundary treatments.



Infill development between buildings in scenarios such as these should be avoided



Proposed extensions should respect the height or footprint of the neighbouring buildings



Any new terraced or semi-detached houses should respect the existing maximum height and follow a similar roofline of adjacent houses



Existing gaps between buildings at the end of terraces or between semi-detached houses should be retained



Subtle variations in height can also be used to add visual interest. This can be achieved with differing ridge and eave heights. In most instances new development should adopt a simple form, with a rectangular floor plan and pitched roof.

3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

Accessibility

Making connections

The built environment should be designed to be accessible and inclusive to all users. Appropriate design should relieve pressure on the road system and allow people to walk or cycle into the centre.

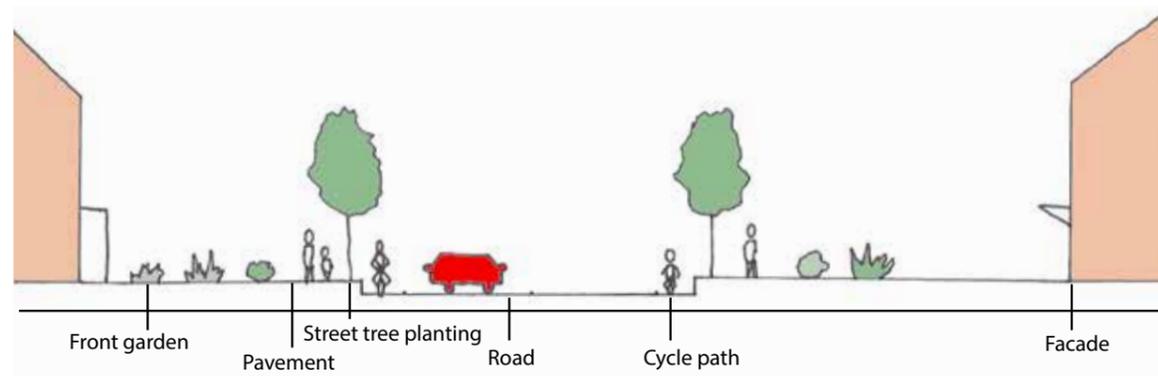
Paving and surface materials should therefore be appropriate and safe for a variety of users.

Visual and non-visual prompts should be carefully included in designs and designed into development to aid orientation for all abilities.

WDP 4: New development should respond to the village characteristics of Waterbeach, in particular plot widths and proportions, building lines, roof lines, heights, the scale of buildings, massing and boundary treatments.



An example from Waterbeach where the dominate access to the central green is by car. This is an example of a poor provision for pedestrian/cycle access.



Permeability

Primary streets should be legible, allowing for multiple connections and a choice of routes. These are important in Waterbeach Village as they form the central network and heart of the settlement. These need to be functional with a strong hierarchy to enable future development.

New development needs to integrate in a way that connects to the existing network, respects the historic core and culturally important landscape and provides sufficient space for people and wildlife. Connections to the rural edge should be provided where possible in proposals to boost ecological connectivity.

Routes through the centre of new developments should incorporate high quality public realm to enhance permeability and provide opportunities for green infrastructure.

WDP 15: Opportunity for innovation and the creative interpretation of the design principles is encouraged, as far as the design does not negatively impact on the distinctive character of Waterbeach.

Design for change

SuDS

Sustainable Urban Drainage (SuDS) should be considered and integrated into the scheme early in the design stages. Such schemes should be used to improve water quality by reducing diffuse pollution through enhanced sediment retention. Development should take a strategic, integrated approach to managing water that makes the best use of SuDS and maximise opportunities for water reuse.

Incorporate appropriately sized SuDS features such as:

- Attenuation ponds;
- Swales; and
- Rain gardens.

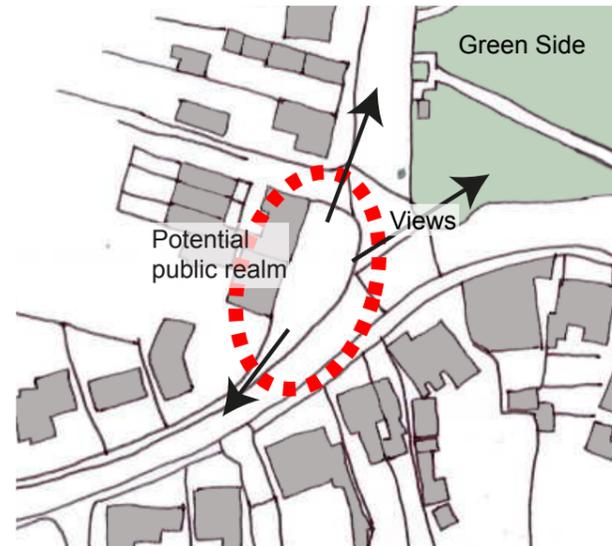
Developments should be encouraged to propose biodiverse SuDS, including reedbeds and green/brown roofs to enhance biodiversity.



3.1 CHARACTER AREA 1: WATERBEACH VILLAGE

There are opportunities to transform blank façades and large areas of hard surfacing into an active frontage of a shop or cafe with the ability to spill out onto new high quality public realm softened with new landscaping.

WDP 16: Improve the public realm in Waterbeach village.



Potential for public realm at the corner of Chapel Street and Cambridge Road to be redesigned to create an active frontage and vibrant streetscape



Illustration of the space opposite where there is potential for new public realm with new landscaping

Facilities for car parking at the front of properties should be kept to a minimum. When integrating parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. Planting should be used to keep a sense of enclosure and to break up areas of car parking in front of the dwellings. This should include hedges, trees and shrubs. Natural surveillance of parked cars is also an important consideration.

The design of parking areas should be appropriate to the scale and location of the residential development.

Car parking solutions should be a mix of on plot, on street and parking courts. Their design should be combined with landscaping to minimise the prominence of vehicles and street clutter.

Adequate off street car parking should be provided to prevent cars being parked on road verges or other inappropriate places.



WDP 14: Proposals should include adequate provision for car parking and traffic calming where necessary.

3.2 CHARACTER AREA 2: URBAN EDGE

This section focuses on Urban Edge of Waterbeach character area. It starts with a suggestion of how a site assessment should be carried out and what aspects it should cover. The main body of this section highlights the design features which contribute to the areas existing character. These two processes should form part of any successful future application within the Urban Edge of Waterbeach. The Waterbeach Design Principles can also be seen in highlight boxes throughout this section to indicate which design principles are particularly relevant to this area.

Enrich the existing

Site Assessment

The urban edge of Waterbeach is made up of the built form which can be found on the outer parts of the settlement of Waterbeach. The southern edge is of Green Belt and the northern edge contains a large allocation at the Waterbeach Barracks Site for a mixed use development.

Opportunities and constraints for each site need to be considered and used to support appropriate design, layout and streetscape. Some key aspects to inform the design are:

Opportunities:

- The influence of historic buildings and their settings;
- Gateways into and out of Waterbeach;
- Potential to link with existing PROW;
- Lack of public realm and landmark buildings;
- Provision of public transport.

Constraints:

- Listed buildings;
- The limited connections to the rural parts of Waterbeach;
- Protected elements such as TPO's;
- Impact of traffic and the provision of car parking;
- Designations and protected landscapes;
- Northern edge contains a large mixed use housing allocation which needs to be sensitively integrated into the village and the rural parts of Waterbeach;
- Development at the Waterbeach New Town needs to complement the existing village of Waterbeach in terms of character and the provision of amenities.

WDP 1: New development and building alterations should use materials of a high quality, which respond to the character of the buildings in the area. They should have strong attention to architectural detailing typical of the distinctive character of Waterbeach.



The Urban Edge of Waterbeach character area

The following features are consistent with Waterbeach Village and should be followed as stated earlier in this report.

Design elements common to character area 1.	Description
Boundary treatments	Residential developments should reflect those characteristic boundary treatments evident in neighbouring buildings
Open space	Open space should be provided for, in accordance with the local plan and reflect the styles and characteristic identified in this document. The size of provision should be appropriate to the size of development.
Architectural detailing	Architectural detailing should follow examples found within Waterbeach Village.
The use of materials	Materials used in the proposed development and extensions to existing properties should reflect those found within the Urban Edge of Waterbeach to enhance the distinctiveness of Waterbeach as a whole.
Street furniture	The design needs to be consistent with that of the both Waterbeach Village and Waterbeach Urban Edge character areas so the experience within the two landscapes feels unified and reflects the character of Waterbeach as a whole.
Street planting	Planting should follow examples found within the Urban Edge of Waterbeach and incorporate the retention of existing elements such as hedgerows and trees.

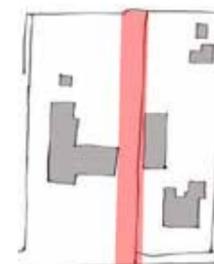
Existing gaps should be retained between existing detached and semi-detached houses and that of proposed development which is reflective of the Waterbeach Urban Edge.

New development or building extensions should respect existing building lines.

It is expected that proposals affecting detached houses will retain and enhance gardens to ensure the setting of the building is retained.

New developments will be expected to provide a generous front garden and rear garden space.

In contrast to Waterbeach Village there will be larger plots, larger gaps between houses, larger gardens and therefore lower density housing on the urban edge.



Maintain gap between housing plots



Detached houses plot proportions, set back from Bannold Road

The urban edge of Waterbeach consists of two contrasting scales; those of 2 storey houses at the human scale and larger scale warehouse (Denny Industrial Park) and aircraft hangers (Waterbeach Barracks).

New houses should respect the existing height and follow the roofline of adjacent houses. Opposite is an image of Way Lane which shows how built form on the urban edge can be appropriately addressed.

Development proposals should reflect the scale and proportion of adjacent houses, of the same building type.

Building façades to new detached houses or extensions should indicate the importance of each storey through the combination of building elements.

Architectural detailing should typically display elements that equate to those on existing traditional buildings in the area in elevation and layout. Traditional elements often consist of a variable roofline, a string course, cornicing at the eaves, door surrounds and the occasionally a parapet wall.



Two storey housing on Way Lane



Two Storey housing on Rosemary Road with on street parking

Proposals for extensions or alterations to existing houses should demonstrate a respect for the existing level of detailing displayed in the buildings in this character area.

The addition of balconies to detached houses is unlikely to be acceptable on existing buildings.

Within this character area there are plots which are larger and therefore offer greater opportunity for extensions or alterations to existing houses. These developments should demonstrate design influences in terms of density, size and form which is reflected in the surrounding adjacent buildings.



Typical two Storey housing on Lode Avenue

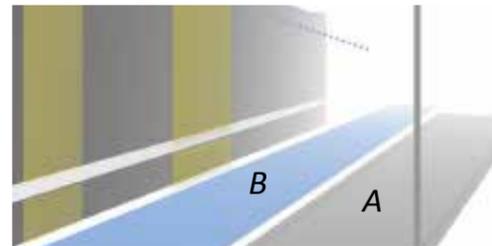
3.2. CHARACTER AREA 2: URBAN EDGE

Places for people

Enclosure

The degree of openness or enclosure of development contributes to the sense of place. Building density, height, boundary design and road width create street scene ratios which should be designed to a human scale. On the Urban Edge of Waterbeach there is more openness than that of the centre of the village and more enclosure than the rural parts. This balance should be evident in future developments.

Equally a combination of open areas and more enclosed spaces can add richness to a development. Development proposals should include a range of spaces including open space, public realm and good street design.



This sketch shows the hierarchy of spaces on a footpath along a road. The grey area (A) shows the busiest section against the highway. The blue section (B) shows the more passive section where active frontages can animate the street. Good design in this section will improve the experience of pedestrians and should contain high quality public realm.

Density

The density of new development should be appropriate to the site and the surrounding area. Development found in this area would support lower densities than in the village centre and successful residential schemes should provide a good mix of dwelling types to support balanced and diverse communities.

Taller and higher density typologies may be better suited to busier areas of any development, or end plots which frame and enclose development.

Higher density buildings may be located at important nodal points, support mixed use and thriving communities. They should not however overwhelm the existing village or change the overall character of surrounding built or green environment.



These are examples of the densities at the Urban Edge. These should be used to inform design as proposed development should employ design characteristics evident in neighbouring developments

Permeability

Primary streets should be legible, allowing for multiple connections and a choice of routes.

New development needs to integrate in a way that connects to the existing network, respects the historic, ecological and culturally important landscape and provides sufficient space for people and wildlife.

Developments should be encouraged to enhance permeability through the area, incorporate high quality public realm and provide opportunities for green infrastructure.

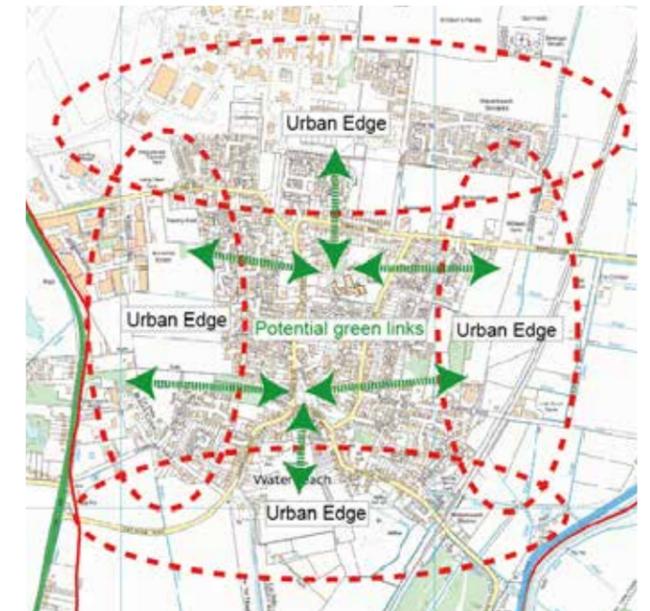
Pedestrian and cycle friendly environments to reduce the need to travel by car should be encouraged.

Green Infrastructure

Development in the urban edge is crucial to connecting Waterbeach village to the rural landscape. Both areas have distinctive characteristics which need retaining and enhancing. Wildlife corridors and open spaces should be encouraged to connect the two and improve ecological connectivity.

Developers should work closely with the local authority early in the design process to identify green infrastructure needs, promoting green links and allowing for their long term management. These features should be effective and robust and form part of a wider network of green infrastructure. Green infrastructure should be considered at a strategic level and incorporated into new developments. These spaces will require continued management to ensure their success.

WDP 17: Encourage better legibility and connectivity through improving existing road networks and by providing well connected sustainable access routes.



Improve green links connecting Waterbeach village to the rural landscape

Large scale - Denny End Industrial Park

Denny End Industrial Estate is another example of large scale built form on the urban edge of Waterbeach. The scale of the buildings are designed to accommodate the industrial and economic hub at Denny End Road. This vital economic centre should allow additional development. New development within the industrial estate should take the opportunity to be innovative with the materials and architectural styles.

Many of the buildings are large warehouses with extensive areas of hard surfacing outside for car parking. There is little provision of soft landscaping such as tree planting or shrub planting with poorly considered public realm. Signs and advertising are limited and not obtrusive, which is something that should be replicated in new development.

New development should look to enhance the landscape with planting and break up large building façades with changes in materials.



Metal roof and brick first storey with a small number of small windows, dominated by car parking with limited landscaping. The quality of the landscape is poor and could be much improved (see below)



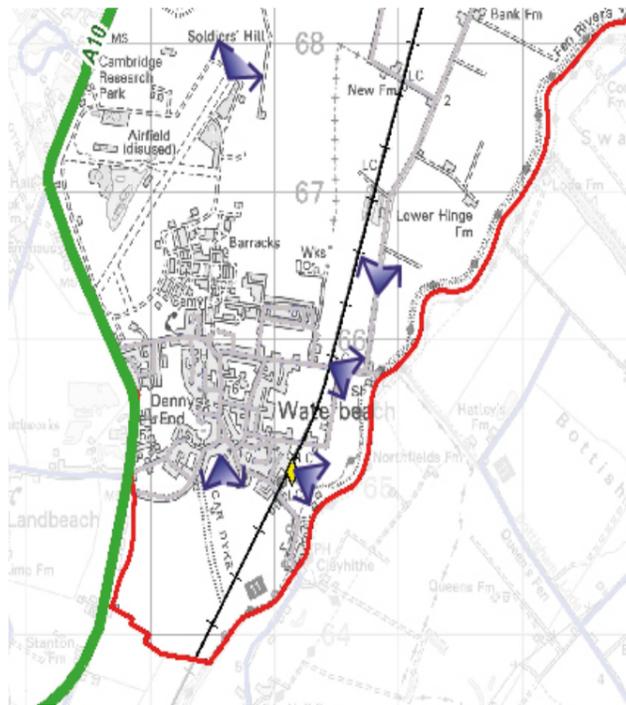
The Denny Industrial Park warehouses at three storeys in height, this would form an appropriate height building for the area



This is an illustration of how the car park could be enhanced through careful landscape design

3.2 CHARACTER AREA 2: URBAN EDGE

Views



Views from the rural edges of Waterbeach

Views from Waterbeach Recreation Ground south across the rural landscape beyond the parish boundary are important. Similarly views are experienced from the train and form an important transition from leaving the city of Cambridge and entering the rural Fenlands. Narrow views of the built form of Cambridge are replaced with long distance, uninterrupted views across the flat fenland landscape. New development will need to consider these important views.

Built form and layout - large scale

Work with the landscape



View east from former Waterbeach Barracks

Views are important aspects which require strong consideration in future development. Built form should avoid obstructing existing views if they are recognised by the community as having local importance. Landscape and visual assessments will identify the impact of proposed development on such views.

The use of focal buildings of local materials and architectural styles can be used to enhance views or frame them. Their scale, layout and form should enhance the buildings around the site.



View south from Waterbeach Recreation Ground



Avenue of trees creating an inviting gateway along Bannold Road

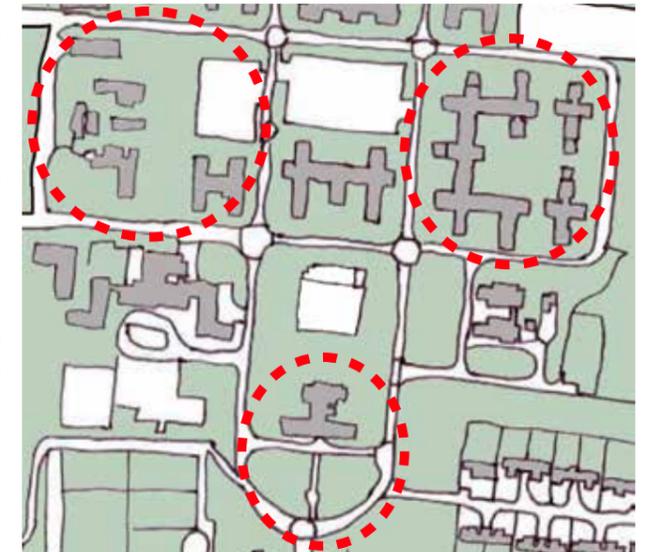
Mixed use and form

The existing urban edge of the village shows examples of large scale built form at the Waterbeach Barracks. These buildings provide residential and military functions.

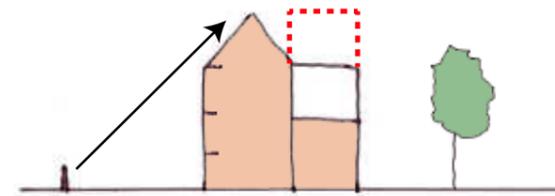
Waterbeach barracks occupy a large area of Waterbeach's urban edge and has a distinctive geometric urban structure forming of a grid. This layout could be used in future development to help reflect the historic military use. There is a positive ratio of open space to built form which also creates an attractive green setting to the barracks, a feature which should be replicated in future development.

A clear ratio between large open spaces and large built form has been achieved. Large buildings have been set within large areas of open space containing a few landscape features. This design should be used to inform the principles of the redevelopment of the area whilst allowing for a more efficient use of the land. This area could accommodate slightly higher densities of development.

The lake forms the largest artificial body of water at Waterbeach. This feature has become part of the landscape and should be retained for its biological value. It should form an focal point for future development and provide recreational opportunities within Waterbeach.



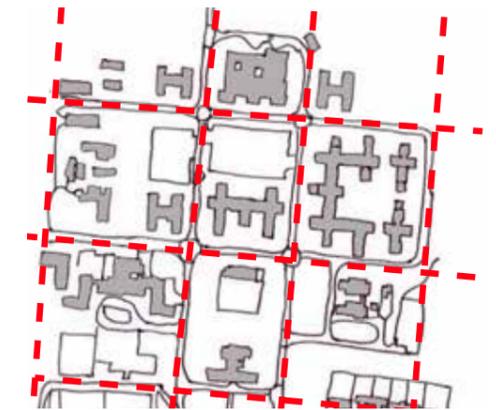
Areas where there is a positive correlation between green space and built form



Suitable area of extension so as not to exceed the total area of the floor plan



Multiple storeys at Waterbeach Barracks



Grid like pattern used to inform urban structure

Fenestration

Similar to Waterbeach Village, windows in new houses should be spaced at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation. The locations of proposed windows in existing detached houses should be spaced based on the architectural period displayed in that building.

Dormer windows may be considered acceptable at the front of a house if they are in the architectural style of the building and follow the pattern of windows displayed in the building frontage. The addition of sky lights at the front of a house are likely to be considered unacceptable. Houses on the whole should reflect simpler detailing as seen in the Waterbeach urban edge section of this document.



Multiple storey and simple symmetrical windows at Waterbeach Barracks

3.2 CHARACTER AREA 2: URBAN EDGE

Design for change

A recently completed development at Levitt Lane showcases how new developments can enhance the character of Waterbeach. By following a simple set of rules laid out in this document the same results could be replicated in future development at Waterbeach. The image opposite shows architectural detailing, materials and landscape design coherent with those examples from existing settlement of Waterbeach. This development is a good example of what the future of development at Waterbeach could look like. Designs should avoid creating pastiches, often achieved where finer details or materials are substitute for cheaper alternatives. This is a good example of where the design and materials have been well considered and delivered to a high standard.



This example from Levitt Lane shows good quality design in all aspects of the building.

Focal buildings at prominent locations at entrances or gateways to developments can be used to create a sense of arrival. Gateway buildings should reinforce local character and play an important role in emphasising local distinctiveness.



The entrance to a development offers an opportunity for a distinctive focal building.

Three storey buildings at focal points emphasise the space they define and create a heightened sense of importance to the space in front of the building. The attention to architectural detailing in the illustration opposite enhances public realm and open space.



Three storey buildings emphasize the open space in front creating a focal point for recreation and community gatherings.

Making connections

Railway crossings are a typical feature of this character area. These features need to be retained and considered in future development as important elements of the landscape. Full consideration should be given to the safety and appropriate use of these crossings. In some cases they also form distinctive gateways offering a sense of departure from the village.

New development should avoid detracting from these features and accommodate them in new proposals so they can retain their function as a crossing and as a gateway.

Proposals for new development should consider the effect the new built form has on the existing gateways of Waterbeach. In addition there should be an opportunity for new development to be innovative and create their own gateways, so long as they are complementary to the existing character.



Gateway between the Urban Edge and Central and Northern Rural Parts formed by a railway crossing. There is an opportunity to create a distinctive new place which integrates well and enhances the character of the existing settlement, regenerating the site

Local Precedent

Focal buildings

Focus on public open spaces

Gateways

3.3 CHARACTER AREA 3: THE CENTRAL AND NORTHERN RURAL PARTS OF WATERBEACH

This section focuses on The Central and Northern Parts of Waterbeach, character area three. It starts with a suggestion of how a site assessment should be carried out and what aspects it should cover. The main body of this section highlights the design features which contribute to the areas existing character. These two processes should form part of any successful future application within The Central and Northern Parts of Waterbeach. The Waterbeach Design Principles can also be seen in highlight boxes throughout this section to indicate which design principles are particularly relevant to this area.

Enrich the existing

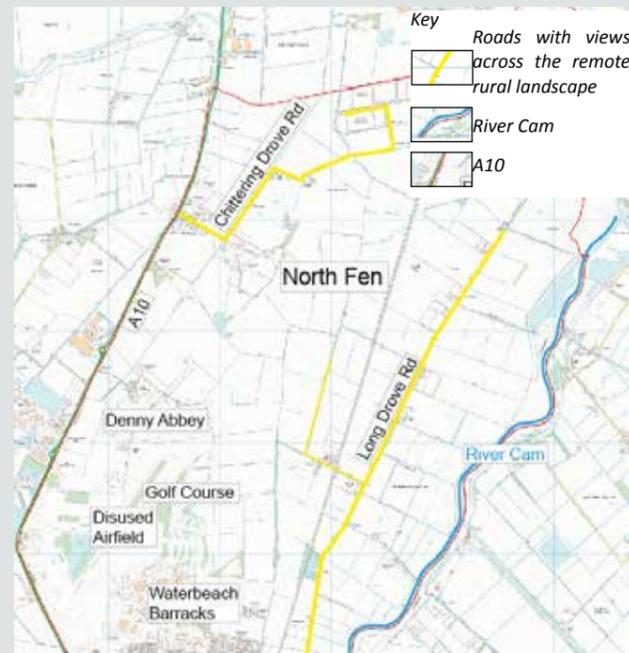
Site Assessment

This section will address development within the Central and Northern Rural Parts of Waterbeach which form the outlying parts of the neighbourhood area. This area is distinctly more remote and isolated. This section outlines how to achieve appropriate development in such a location.

Opportunities and constraints for each site need to be considered to support appropriate design. The main elements to inform the design are:

- Flat and low-lying topography;
- Distinctive droves informing field layouts;
- Limited access through the rural parts;
- Heritage and historically important areas;
- Open views across the rural parts;
- Low density, clusters of settlements;
- Provision of public transport; and
- Designations and policy research.

Opposite is an example showing typical opportunities and constraints of sites in this location.



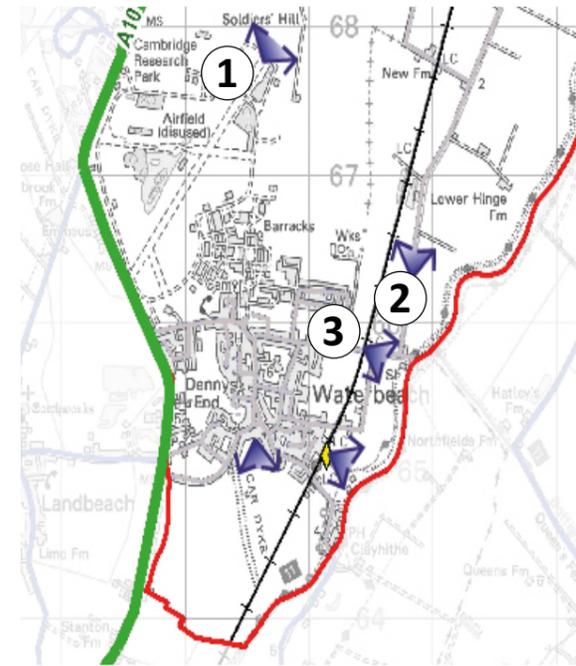
The Central and Northern Parts character area of Waterbeach

Some elements in the Central and Northern Rural Parts of Waterbeach will require the same approach to design as stated in character area 1 and 2 of Waterbeach. This continuity provides a distinctiveness to Waterbeach unifying the neighbourhood area and enriching the character.

Places for people

Design common to character area 1 and character area 2.	Description
Car parking	Needs to follow policy guidance.
Open space	Open space should be provided for in accordance with the local plan and to reflect the styles and characteristics identified in the Village (character area one) and Urban Edge of Waterbeach (character area two). The size of provision should be appropriate to the size of development.
Architectural detailing	Architectural detailing should follow examples found within character area 1: Waterbeach Village.
Materials	Materials for proposed development and extensions to existing properties should use those found within the character areas 1 and 2 of this document. This will enhance the distinctiveness of Waterbeach as a whole.
Street furniture	The design needs to be consistent with that found within character areas 1 and 2 of this document so the experience within all three landscapes feels like Waterbeach.
Street planting	Planting should follow examples found within the Central and Urban parts of Waterbeach and incorporate the retention of existing elements such as hedgerows and trees.

Work with the landscape



Views from the rural edges of Waterbeach

Central and northern rural areas of Waterbeach give rise to large open views with big skies, which are typically characteristic of Cambridgeshire Fenland. These views need to be retained as far as possible with future development taking into consideration the impact on the existing sky line and horizon. Routes along long straight droves leaving the settlement heading north give opportunities for such views. These views need to form part of site analysis to identify if they can be retained and included within future development.

New development should reflect the setting of the surrounding landscape, consisting of dramatic flat agricultural fields and open views. New development should also consider the effects of boundaries to properties as existing boundaries are in most cases hedgerows. Some examples of brick walls and brick piers to farmsteads exist which are characteristics that should be used to influence future development at Waterbeach.

WDP 11: The rural landscape should be managed to retain its distinctive sense of remoteness and isolation.

Mixed use and form

The following typical characteristics of Central and Northern Rural Parts should be used to inform the future development within the area are as follows:

- Low density
- Mix of detached farm houses and large agricultural buildings
- Occasional groupings and clusters of houses forming a farmstead (A)
- Small groups of terraces or semi-detached buildings forming residential houses (B)
- Development often congregating close to road junctions.



1 - View north from the end of the former runway at Waterbeach Barracks



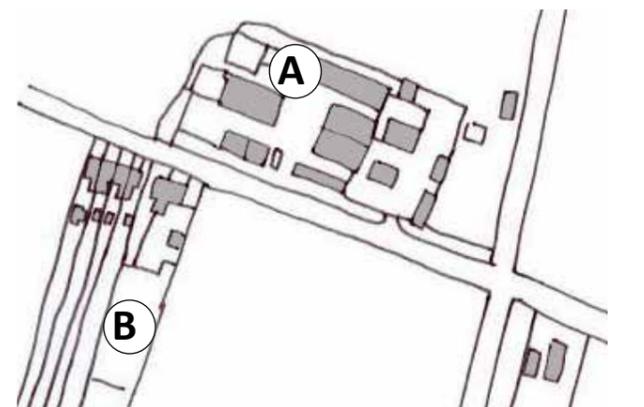
2 - View north from Long Drive



3 - View east along Bannold Road at railway crossing



Rural Waterbeach with farm buildings and grazing fields



Farm buildings for clusters of built form within the wider landscape

3.3 CHARACTER AREA 3: THE CENTRAL AND NORTHERN WATERBEACH

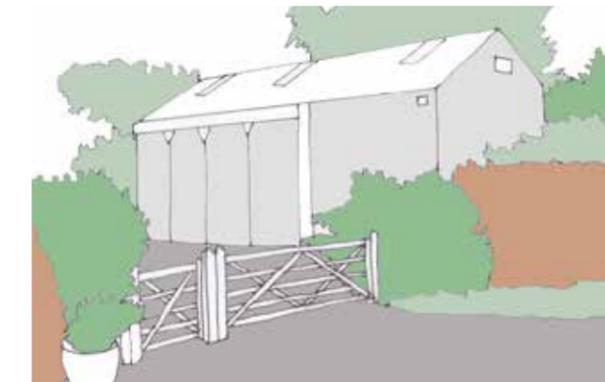
Making connections

The central and rural parts of Waterbeach are connected by a fine network of small roads, lanes and farmers tracks. There are few existing opportunities for connections east and north of the village of Waterbeach. Future development should encourage connectivity throughout Waterbeach so long as it complements the existing character of the rural parts of Waterbeach.

Design for change

Farmsteads often have hedgerow boundaries (mixed species) with five bar timber gates for vehicular access. This would be the basis of good design for new proposals within this area.

WDP 4: New development should respond to the village characteristics of Waterbeach, in particular plot widths and proportions, building lines, roof lines, heights, the scale of buildings, massing and boundary treatments.



Architectural detailing should be similar to that of the village of Waterbeach. Buff gault Cambridgeshire brick work with slate roofs of 2 or 2.5 storey in height would be appropriate. Materials and architectural styles should enhance existing buildings.

Agricultural buildings are often much larger and constructed of simpler form and detailing. The materials are more industrial and include corrugated iron and would be considered appropriate for future agricultural buildings.

WDP 1: New development and building alterations should use materials of a high quality, which respond to the character of the buildings in the area. They should have strong attention to architectural detailing typical of the distinctive character of Waterbeach.

New development should carefully consider the impact of new built form on the open and remote character of the area. Future development should make sure the provision of open space is proportionate to the amount of development being proposed. Opportunities for a better connected network of recreational routes should be considered as well as consultation with Sustran's.

WDP 7: The importance of trees in both public and private spaces needs to be addressed, as they are significant contributors to the character of Waterbeach. New development should not normally result in the loss of existing trees and tree groups and proposed trees should be incorporated into new development, increasingly so at the edge of the village.

Boundary Treatments

Architectural detailing

Open Space

In order to achieve a successful approach to the design of the built environment within Waterbeach a checklist has been included below. The list is intended for the applicant and the local planning authority to check that the appropriate considerations have been given to each application.

The primary purpose of the checklist is to ensure the development proposals have followed these Waterbeach Design Principles and will therefore positively contribute to the character of Waterbeach. The checklist has been developed to assess applications in all three character areas.

WATERBEACH DESIGN PRINCIPLES CHECKLIST		
Site Assessment	Description	Checked
Setting	Is the design appropriate to the setting and location of the site in the rural parts of the settlement?	
	Have the existing focal points, nodes and gateways in proximity to the site been adequately considered and addressed in the design proposals?	
Landscape character	What is the landscape character of the settlement/surrounding area? Are there any existing landscape features or important views? Have they been retained eg the view from Denny Abbey?	
Built character	Has the character of the built form present in the existing buildings been understood and is it reflected in the design proposals?	
	Have the existing building types within the settlement that create a sense of place been studied and where relevant referenced in the design proposals?	
Design Element	Description	Checked
Respond to character	Do the proposals demonstrate a positive response to the character of Waterbeach?	
Respond to constraints and opportunities	Have the proposals positively addressed the constraints and opportunities of the site and its setting?	
Scale	Does the design respond well to the existing scale of development and incorporate variations in height responding to street hierarchy?	
Form and massing	Have the development proposals adopted massing and form in keeping with the existing character of the area?	
Boundary treatments	Does the design clearly define public and private space & reflect the character of Waterbeach?	
Natural surveillance	Have the design proposals provided good natural surveillance of the street?	
Façades & Elevations	Does the design demonstrate an architectural approach and identity borne from Waterbeach?	
Materials	Is the palette of materials proposed of high quality and reflective of Waterbeach?	
Chimneys	If chimneys are incorporated into the design are they reflective of those already used in Waterbeach?	
Roofscape	Have the larger buildings been broken up into smaller modules to prevent the building dominating the roofline and do they reflect the existing roof lines in Waterbeach?	
Green Infrastructure	Is the provision of amenity space, appropriate to the size and location of the dwelling and are they well connected to existing green spaces?	
Dormer windows	Is the use of dormer windows limited to the rear of properties?	

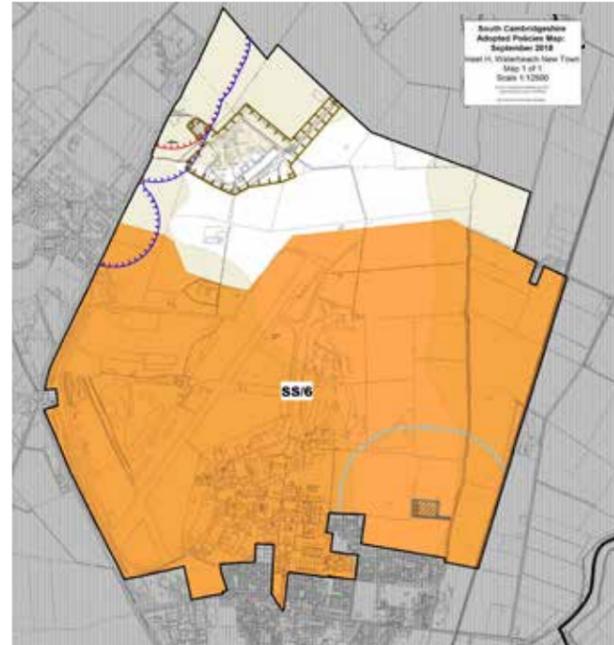
4. WATERBEACH NEW TOWN

The Waterbeach New Town lies within two character areas identified in these design codes. It lies partly within the Urban Edge (character area two) and the Central and Rural Parts of Waterbeach (character area three). The South Cambridgeshire Local Plan was adopted in September 2018. The Waterbeach New Town is allocated as a new settlement on the northern edge of Waterbeach Policy (SS/6). An SPD specific to the allocation and has also been drawn up in draft.

Waterbeach Policy SS/6

A new town of approximately 8,000 to 9,000 dwellings and associated uses is proposed on the former Waterbeach Barracks and land to the east and north. The policy addresses the following main objectives to achieve acceptable development:

- The quantum, location and distribution of development in the town; and
- Maintaining an appropriate setting for Denny Abbey listed building and scheduled monument.



This is an extract from South Cambridgeshire District Council Local Plan 2018

These Design Principles should be read in conjunction with the Draft Waterbeach New Town SPD which is currently being consulted on. The SPD relates to an allocation of 580 ha situated on the north western edge of Waterbeach. The site is focused on brownfield land formerly used as Waterbeach Barracks, accompanied by adjoining farmland.

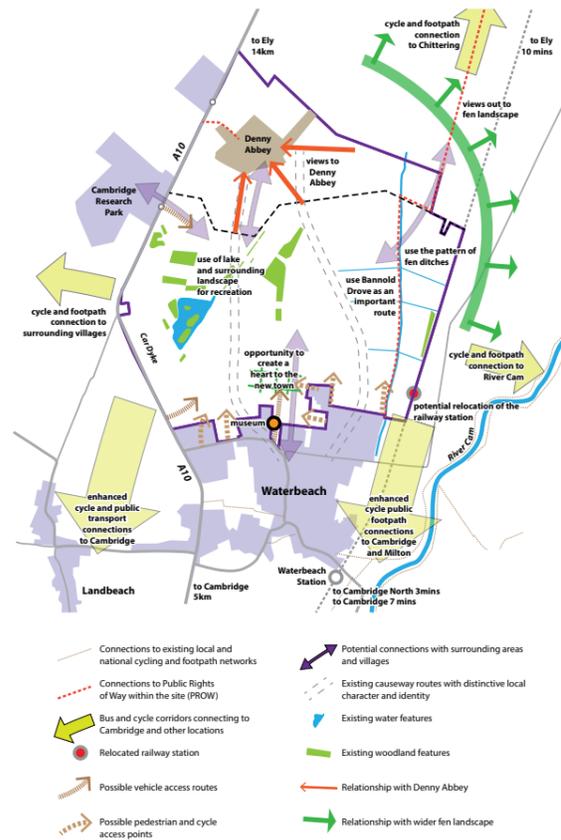
The SPD provides guidance about how the new town should be designed, developed and delivered consistent with the new Local Plan. It has been prepared to guide a comprehensive approach to its development and the provision of infrastructure across the whole site and neighbouring Waterbeach.

The SPD establishes a vision for the new settlement, and strategic objectives for the new development. It includes strategic principles for development and place-making that set the quality expectations for the new settlement, to guide the master planning of the site. It includes a detailed analysis of the existing site context including development constraints such as heritage assets like Denny Abbey, landscape character and flood risk, and opportunities from the assets already present on the site. It identifies guiding principles that should be used to inform development relating to a number of key themes including movement, place, housing, open space, environmental sustainability and climate change.

The SPD address the five main challenges facing the redevelopment of the site:

- Nurturing a relationship with existing settlements
- The need for comprehensive development
- Creating sustainable access
- Delivering strong communities
- Capitalising on natural assessment
- Managing the sensitive historical setting

The document assesses the site context, and produced a vision to enable the spatial framework illustrating the structure of development concluding with a set of guiding principles.



WATERBEACH NEW TOWN | A SPATIAL FRAMEWORK & INFRASTRUCTURE DELIVERY PLAN

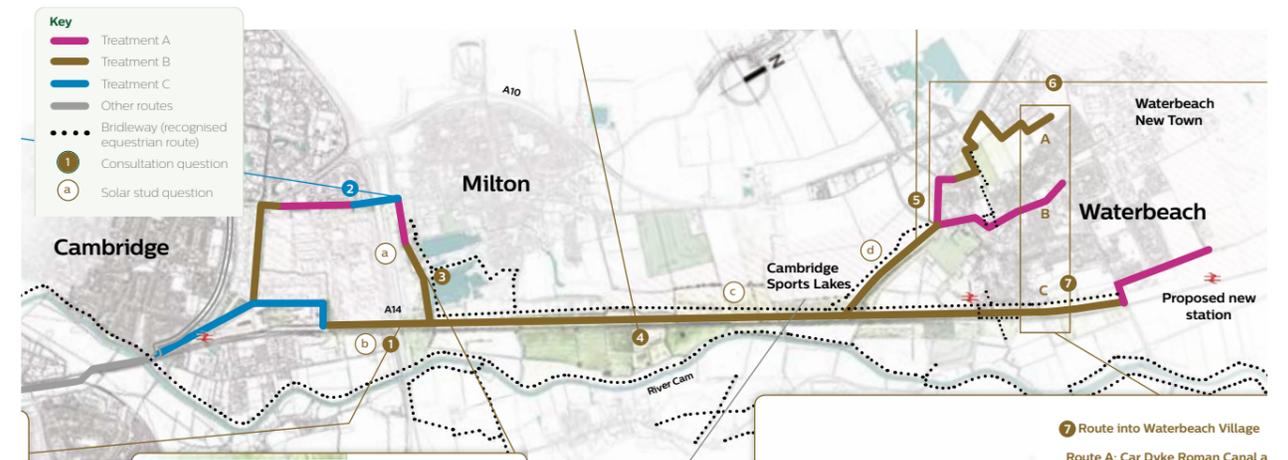
This is an extract the 'Key Opportunities' diagram from the draft Waterbeach New Town SPD by South Cambridgeshire District Council 2018

Waterbeach Greenway

The proposed greenways in Cambridge are intended to achieve two main objectives. The first is creating a greenway network that connects local villages to Cambridge.

The second is an effort to reduce peak time congestion by providing commuters with viable alternatives to cars offering better sustainable access into and out of the City. The intention is that the Greenway network will act as part of a wider strategy improving connectivity and linking greenways throughout Cambridge. The greenways are going to be designed in one of three ways (ref <https://www.greatercambridge.org.uk/transport/transport-projects/greenways/waterbeach-greenway/>):

- Quiet road - a Greenway route on the carriageway could have speed limits reduced to 20mph. White painted signage could be added to the carriageway where appropriate.
- Shared use path - A three metre wide path with a 2 metre grass strip running parallel. Where the path runs beside the carriageway a green verge will separate the path from the road, this will be as wide as possible.
- Protected path - A three metre wide path with features that separate cyclists and pedestrians. Where possible, as much protection from the carriageway will be applied, this may include grass verges or shrubs.



This extract from the public consultation illustrates the proposed cycle route connecting Cambridge with Waterbeach as well as the location of the proposed new train station (South Cambridgeshire District Council website last visited 2018)



This extract is also from the public consultation and shows what the Waterbeach Greenway could look like.

(South Cambridgeshire District Council website last visited 2018)



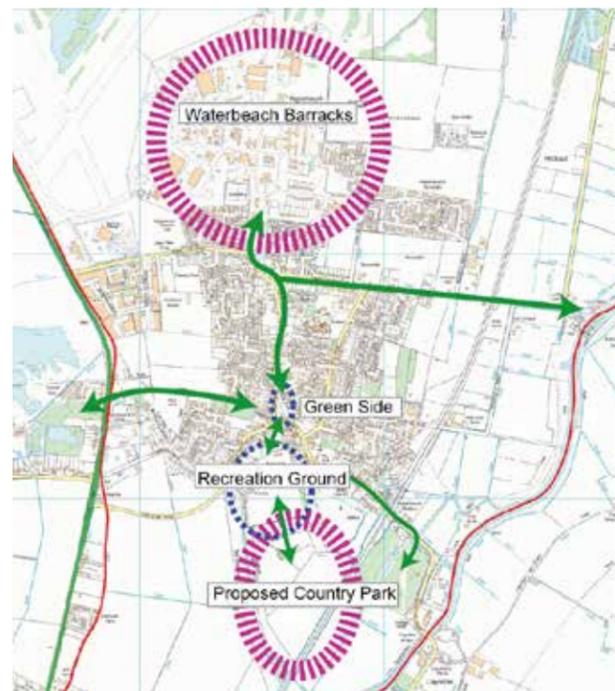
The consultation leaflet for the Waterbeach Greenway.

(www.greatercambridge.org.uk website last visited 2018)

There is potential to connect existing and proposed open spaces through a series pedestrian and cycle friendly green links in addition to the proposed greenways. This will improve permeability across Waterbeach and provide improved access to the river. It will be important to connect key nodes such as Green Side, High Street, the train station and the recreational ground.

The figure opposite is a high level aspiration to ensure future development contributes to this objective.

Proposed developments need to connect proposed green spaces with those existing to improve access to green space within Waterbeach. The green arrows represent potential green links which could connect existing green spaces with these new developments.



Potential strategic green links connecting central Waterbeach with the rural parts

5. NEXT STEPS

A wealth of further information and support is available to assist Waterbeach Neighbourhood Plan Group in applying the principles set out in this assessment. The Locality website is a useful starting point and is updated regularly. Current guidance which may be of interest includes:

- Making local green space designations in your neighbourhood plan: <https://neighbourhoodplanning.org/toolkits-and-guidance/making-local-green-space-designations-neighbourhood-plan/>
- Good design in Neighbourhood Planning: <https://neighbourhoodplanning.org/toolkits-and-guidance/good-design-neighbourhood-planning/>

Further technical support is also available to priority neighbourhood planning groups and forums through Locality, funded by MHCLG. The other packages of support currently available are:

- Housing Needs Assessment (HNA)
- Site Options and Assessment
- Environmental Impact Assessment (EIA)
- Evidence Base and Policy Development
- Strategic Environmental Assessment (SEA)
- Masterplanning
- Habitats Regulation Assessment (HRA)
- Plan Health Check Review

Further information is available in the Neighbourhood Planning Grant Guidance Notes produced by Locality: <https://neighbourhoodplanning.org/about/grant-funding/>



Open space at the entrance to Waterbeach Barracks, from Denny End Road.

A photograph of a road lined with trees and a sign pointing to Waterbeach Barracks. The road is paved and has white lane markings. On the left side, there is a large bush with brown leaves and a sign that reads "Waterbeach Barracks" with an arrow pointing right. The trees are mostly bare, suggesting autumn or winter. The sky is blue with some light clouds. In the distance, a building is visible through the trees.

Waterbeach
Barracks

**SUMMARY OF
PLANNING POLICIES AND
WATERBEACH DESIGN
PRINCIPLES**

5. SUMMARY OF DESIGN ELEMENTS

This table is set up to allow applicants to create proposals which will be appropriate in Waterbeach. Initially the table requires the applicant to link the design element present within their proposals with the relevant planning policy. These should then be read in conjunction with the design principles to understand what is expected of development to achieve good design. This informs the applicant of the requirements on them to produce acceptable proposals. Finally it states the actions needed to be taken in order to complete the process and produce appropriate design proposals and increase the opportunity for a successful application.

DESIGN ELEMENT	LOCAL PLAN POLICY (SCDC Local Plan Design Policies 2018)	WATERBEACH DESIGN PRINCIPLE	HOW TO ACHIEVE THIS WITH GOOD URBAN DESIGN
Open space and Public Realm	Policy NH/11: Protected Village Amenity Areas	WDP 10 WDP 12 WDP 13 WDP 16	Produce a sequence of high quality usable spaces. Connect the public realm with the open space by pedestrian and cycle links. Link existing open space with proposed open space to provide a network of space throughout Waterbeach. Ensure natural surveillance is maintained and designs do not include areas which could be misused. Street furniture can be traditional or modern with materials and designs which enhance public realm.
Landscape Character	Policy NH/2: Protecting and Enhancing Landscape Character	WDP 1 WDP 7 WDP 11	Use the Heritage and Character Assessment to identify distinctive qualities which could be used in development proposals to contribute to the existing character. Building elevations and orientation should project an attractive and positive frontage which relates to the surrounding context. New development should engage with existing parts of the village. Development will only be permitted where it respects, retains, or enhances the local character and distinctiveness of the local landscape and of the individual National Character Area in which it is located. Development will not be permitted within or adjacent to these areas if it is considered to have an adverse impact on the character, amenity, tranquility or function of the village. Proposals should include soft and hard landscaping with the aim of retaining the majority of existing trees.
Setting	Policy HQ/1: Design Principles Conserve or enhance important natural and historic assets and their setting. Policy NH/14 Heritage Assets	WDP 8	Assess the neighbouring buildings and public realm in the initial site assessment. Show evidence of how the setting of neighbouring buildings / open space has been addressed in the proposals. Applicants need to show how they have considered the effects of their proposals on heritage assets and their settings. This may include mitigation if required.
Heritage	Policy NH/14: Heritage Assets Development proposals will be supported when: a. They sustain and enhance the special character and distinctiveness of the district's historic environment including its villages and countryside and its building traditions and details; b. They create new high quality environments with a strong sense of place by responding to local heritage and character whilst allowing for innovation.	WDP 1 WDP 5	Proposals should integrate heritage assets into the townscape, to reinforce a strong sense of place. Redevelopment of historic buildings should be completed to a high standard, to preserve and enhance heritage assets. Development in sensitive areas, such as the Waterbeach Conservation Area, should use similar design approach to the existing village. This should be realised with high quality materials to integrate proposals with the surrounding townscape.
Density	Policy H/8: Housing Density 1. Housing developments including rural exception sites, will achieve an average net density of: a. 30 dwellings per hectare (dph) in Rural Centres, Minor Rural Centre villages, and Group villages; and b. 40 dph in urban extensions to Cambridge and in new settlements. 2. The net density on a site may vary from the above where justified by the character of the locality, the scale of the development, or other local circumstances.	WDP 3	Urban development located in some areas of the village may support higher densities than in rural parts. Successful residential schemes should provide a good mix of dwelling types to support balanced and diverse communities. Taller and higher density typologies are often better suited to busier areas, nodal points or end plots which frame and enclose development. The density of new development should be appropriate to the site and the surrounding area. Waterbeach has been selected as a Minor Rural Centre under Policy S/9. Therefore is subject to the lower density target stated in Policy H/8.

DESIGN ELEMENT	POLICY	WATERBEACH DESIGN PRINCIPLE	HOW TO ACHIEVE THIS
Delivering high quality homes	Chapter 7 - Policy H/1 Allocations for residential development at villages; in addition to site specific policies	WDP 1	Evidence will include the design and materials used, the amount and type of decoration and functional elements such as the position and type of doors and windows, flues, chimneys, gutters and flashings in order to reinforce or complement local character. Proposals should provide evidence of how new development has respected the local context and will reinforce and enhance the local identity.
Boundary Treatments	Numerous site specific policies identify the importance of boundary features. For example Policy H/3 para 7.24 'strengthening existing boundary tree planting...'	WDP 4	Boundary treatments will vary but these should be of high quality materials. Boundary design should promote new development integration and facilitate passive surveillance of surrounding streets to increase safety and security. Boundary treatments facing the street and public areas should reflect the best examples in Waterbeach. Modern materials that complement the street scene may be appropriate where they enhance the local character. The use of low quality materials in these publicly visible boundaries should be avoided.
Access	SCDC Local Plan Design Policies 2018 makes no specific mention of the treatments. We have included it as an important consideration in Waterbeach.	WDP 11 WDP 17	Design proposals should consider placing gateways, built elements and landscape features to highlight the access or arrival points of a new development. Gateway buildings should reinforce local character. Views of the rural parts of Waterbeach should be retained where possible. The impact of new development on the road and railway networks should be evident in proposals. New developments should be easy to access and navigate. Provision for cycle and pedestrian access would be greatly beneficial.
Materials	Policy HQ/1 Design Principles states that proposals must be compatible with the location and be appropriate, with regards to the use of materials in new developments.	WDP 1	Materials such as gault buff brick and white render that are widespread in the area should be used in new development. Materials that are durable, high quality and easy to maintain are preferable. Modern materials that complement the street scene or traditional materials in a contemporary manner, may be appropriate where they enhance local distinctiveness and character.
Views	Policy SS/6 Waterbeach New Town makes multiple mentions of the need to protect views from the Scheduled Monument Denny Abbey.	WDP 11	The retention of key views of the Abbey, the church, parts of the Fenland landscape and local landmarks along existing streets should be evident in proposals. Screening views of the Waterbeach New Town from Denny Abbey should be evident in proposals. Provide views in the new development to ensure views towards the rural landscape and landmark buildings will remain. This will also increase natural surveillance.
Green infrastructure	Policy NH/4 states Priority for habitat creation should be given to sites which assist in the achievement of targets in the Biodiversity Action Plans (BAPs) and aid delivery of the Cambridgeshire Green Infrastructure Strategy.	WDP 17	Green infrastructure proposals should be: Effective, robust, underpinned by a network of well-maintained, connected and biodiverse spaces. Strategically designed into new development these spaces will require continued investment and management to ensure that benefits are maximised. Biodiverse, green infrastructure in urban areas, for example using reed beds and green/brown roofs, can improve water quality by reducing diffused pollution through enhanced sediment retention. Proposals should refer to the Cambridge Green Infrastructure Strategy
Car parking	Policy TI/3 Parking Provision states car parking provision should be provided through a design-led approach in accordance with the indicative standards set out in Figure 11. Cycle parking should be provided to at least the minimum standards set out in Figure 11. (Policy E/17 is also relevant),	WDP 14	Car parking solutions should be a mix of on plot and parking courts. Car parking design should be combined with landscaping to minimize the presence of vehicles. Front of property car parking should be kept to a minimum. When placing parking at the front, the area should be designed to minimise visual impact and to blend with the existing streetscape and materials. The aim is to keep a sense of enclosure and to break the potential of a continuous area of car parking in front of the dwellings by means of walls, hedging, planting and use of paving materials. Natural surveillance of parked cars is an important consideration. New development must consider the impact on car parking at Waterbeach railway station.
Allow for innovative design	Policy HQ/1: Design Principles ensure developments deliver flexibility that allows for future changes in needs and lifestyles, and adaptation to climate change;	WDP 15	Allow developments to use modern materials and techniques so long as these do not stifle innovation. Modern materials that complement the street scene or traditional materials in a contemporary manner, may be appropriate where they enhance local distinctiveness and character.



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